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**Phase 2 Historic Structures-Sites Letter Report for 2758 Las Encinas Lane, Santa Barbara, California**

August 8, 2016

**1.0 INTRODUCTION AND REGULATORY FRAMEWORK**

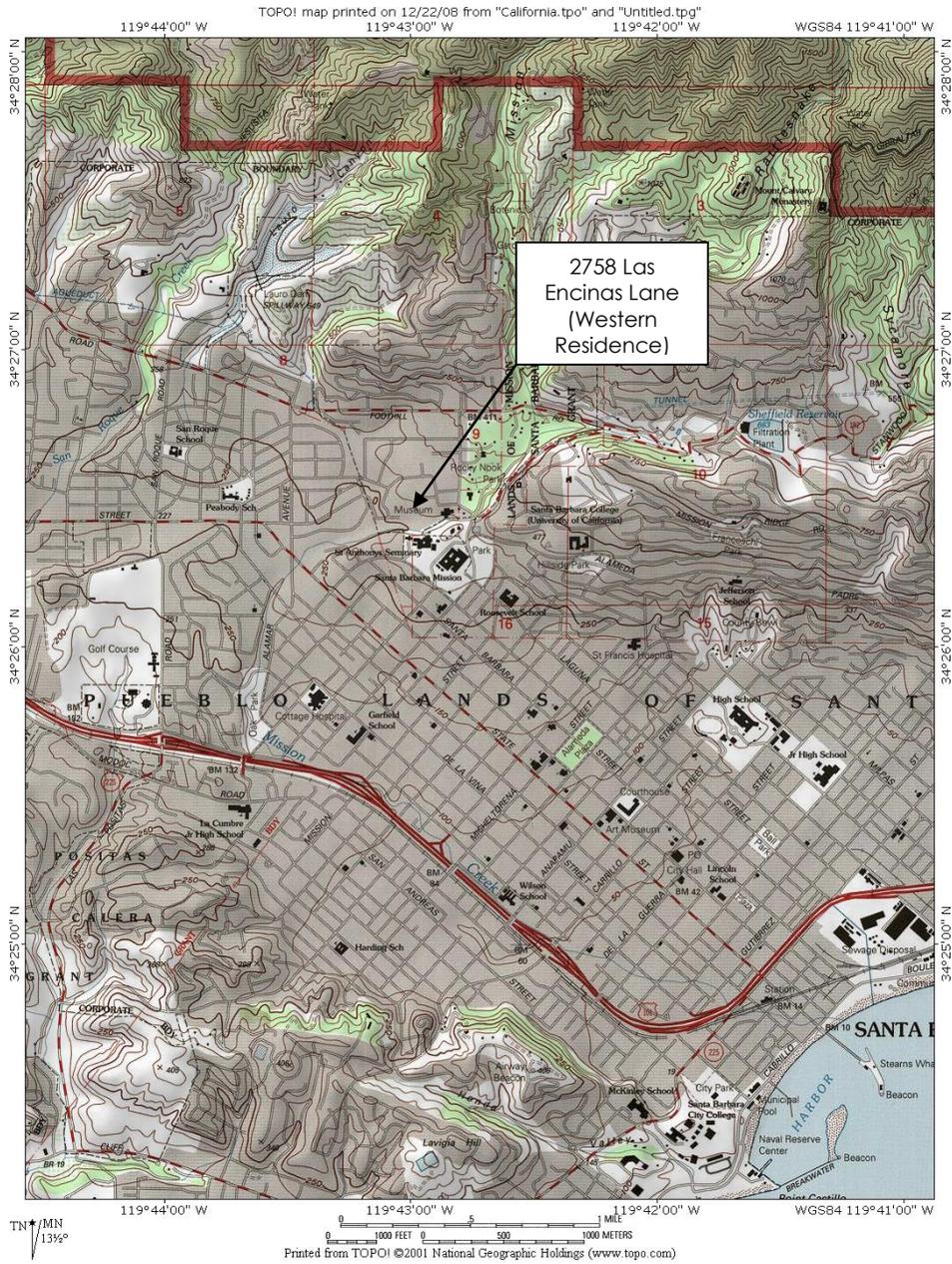
The Santa Barbara Museum of Natural History proposes alterations to a single-family residence (known as the Western Residence) located at 2758 Las Encinas Lane (APN 023-250-066) (Figures 1a - 2). This letter report evaluates proposed alterations to the existing building and its setting (see Appendix A for plans).

The California Environmental Quality Act (CEQA) requires analysis of impacts that may result from project development, including impacts to historic resources. The report follows the guidelines for Historic Cultural Resource Studies set forth in the General Plan of the City of Santa Barbara, as well as State and Federal guidelines pertaining to the assessment of impacts to historic resources. These include the State CEQA Guidelines, specifically Section 15064.5, Determining the Significance of Impacts to Archaeological and Historical Resources, as well as the CEQA guidelines outlined in the City of Santa Barbara Master Environmental Assessment. Pamela Post, Ph.D., principal investigator and senior historian, and Timothy Hazeltine prepared this report.

**2.0 EXECUTIVE SUMMARY**

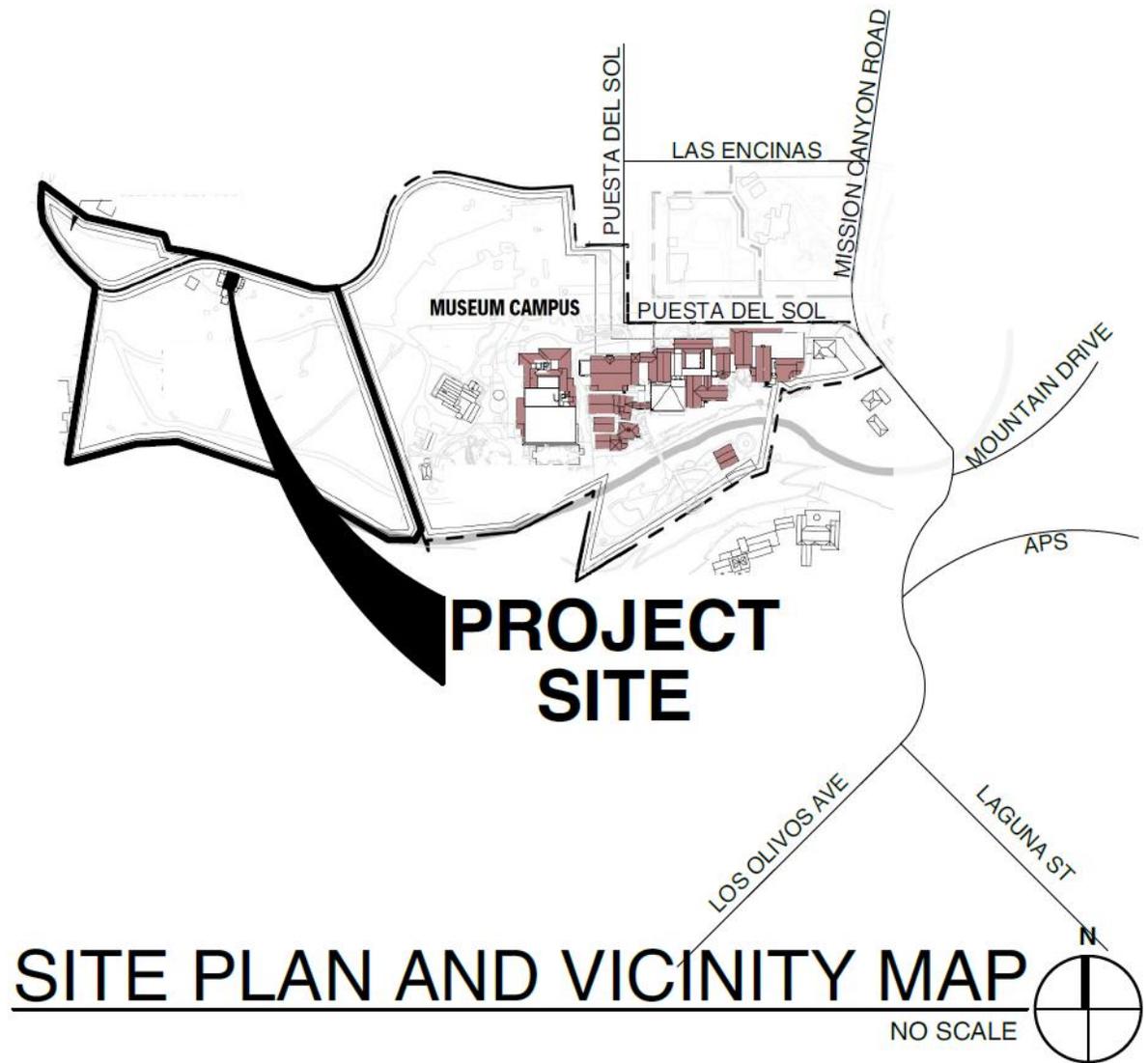
This Phase 2 Historic Structures/Sites Letter Report concludes that the proposed project, including demolition of the building's non-historic additions, repairs and alterations to the remaining building's historic fabric and alterations to the existing landscaping would result in less than significant impacts (Class III) to significant historic resources including the significant cultural landscape. Project impacts are evaluated in Section 6 of this letter report. The architect of record for the project is Dwight Gregory, Architecture (architecture) and Van Atta Associates Inc. (landscape plans).

(see next page)

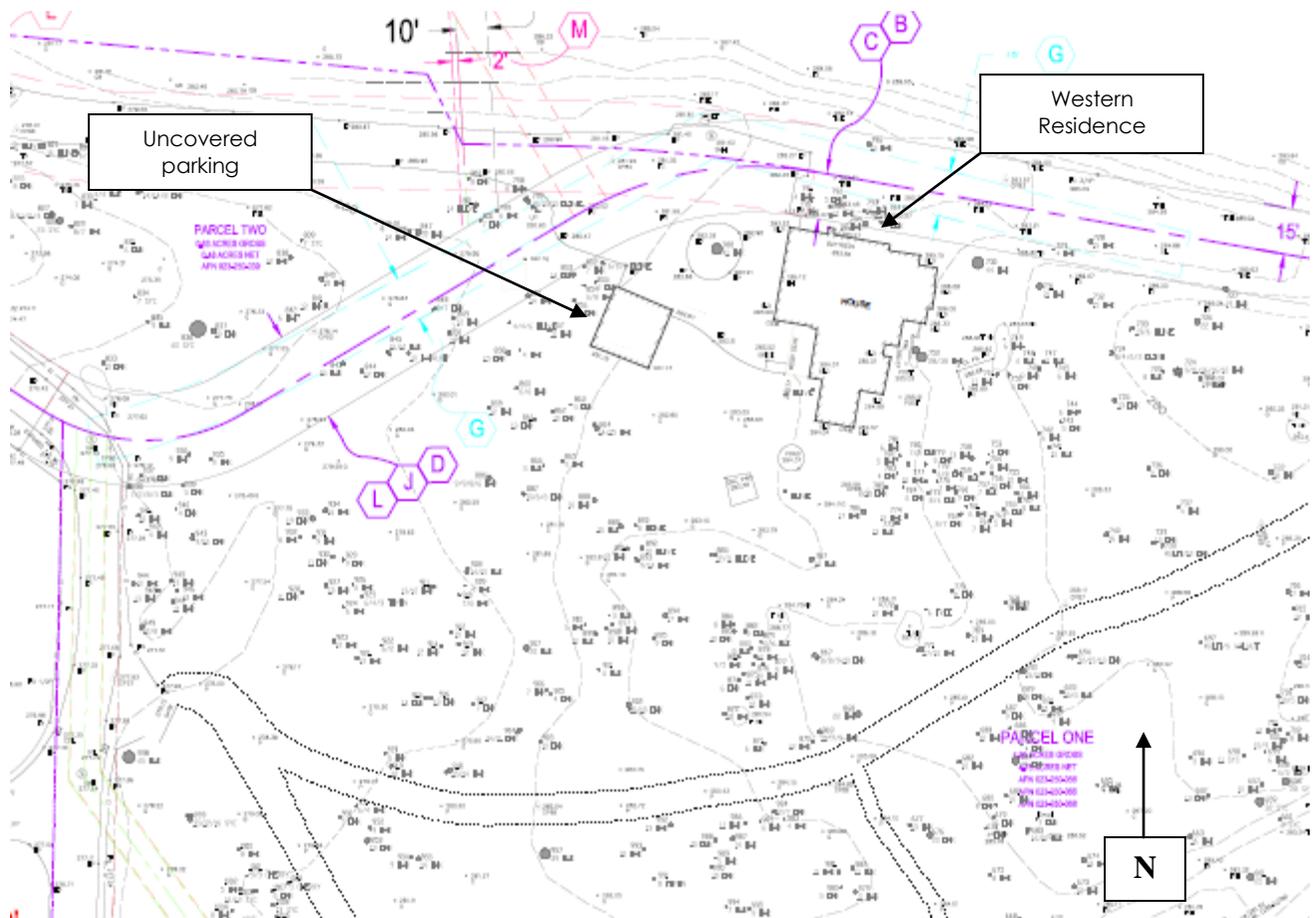


**Figure 1a, Project Location Map**

Post/Hazeltine Associates  
 Draft Phase 2 Historic Structures/Sites Letter Report  
 Reviewing Final Plans for the Rehabilitation of the Western Residence  
 Santa Barbara Museum of Natural History Property  
 2758 Las Encinas Lane, Santa Barbara, California  
 August 8, 2016



**Figure 1b, Project Location Map Depicting Museum Property**



**Figure 2, Site Plan, Existing Conditions**

### 3.0 PREVIOUS STUDIES

In 2011, a Phase 1 Historic Structures/Sites Report (HSSR) was prepared by Post/Hazeltine Associates for the following parcels owned by the Museum APN 23-250-039, APN 23-250-056, APN 250-066, APN 23-250-068, APN 23-271-003 and APN 23-271-004 (Post/Hazeltine Associates 2011). The methodology for determining whether potential historic resources met the eligibility requirements for listing as historic resources under City, State and Federal eligibility criteria was based on archival research to determine the historic context of the properties within the project area, as well as on-site evaluation of the physical and visual integrity of each building, structure, feature and landscape component. The report determined the core of the building at 2758 Las Encinas Lane (the Western Residence), which was designed by the noted architect James Osborne Craig as an adjunct to the Bernard Hoffmann estate, was eligible for listing as a City of Santa Barbara Structure of Merit. The Phase 1 HSSR was reviewed and accepted by the Historic Landmarks Commission (HLC) on August 11, 2011.

## **4.0 SITE DESCRIPTION**

The following provides a description of the vicinity of Western Residence (Figure 3).

The existing building is composed of the original one-bay garage designed by James Osborne Craig and built in 1920-1921, a two-bay garage added by the 1930s and a residential component constructed in phases between the 1930s and the early 1970s. The original one-bay garage wing features masonry walls while the two-bay garage added in the 1930s is of wood frame construction; both of the garage wings feature stucco siding. The series of additions made between the 1930s and 1970s are of wood frame construction, primarily with board-and-batten style siding and shed roofs. These additions appear to have been partially or almost entirely built of salvaged construction materials.

The building is surrounded by informal landscaping composed of introduced plants and trees such as bird of paradise, Victorian box and succulents planted within the last 50 years, remnants of the Hoffmann estate's designed landscape such rock-lined planter beds, large olive trees and mature native oaks exist in the vicinity of the existing building. The property is accessed via a paved asphalt driveway opening onto Las Encinas Lane.

### **West Elevation (primary façade)**

The west elevation is L-shaped in configuration with the projecting element composed of an addition constructed sometime in the 1970s (no permits exist for this modification); its fenestration is composed of a mix of metal frame windows and a flush panel door. This addition encapsulates the west elevations of the original one-bay garage and the adjacent two-bay garage. The recessed element of the elevation features a glazed wood panel door flanked by a window; at its south end is a slightly recessed wing housing a bedroom and bathroom; fenestration is composed of a wood door with a slightly arched top and a casement window.

### **South Elevation (facing towards Mission Creek)**

The south elevation has an irregular t-shaped footprint composed of a series of additions made to the original building between the 1940s and 1970s. Most of these alterations are not documented by permits. Fenestration is composed of a number of wood and metal frame windows, most of which appear to have been salvaged from other buildings.

### **East Elevation (facing towards the Museum parking lot)**

This elevation has an irregular footprint composed of a number of additions built between the late 1930s and the 1970s which were built off the rear and side elevations of the original garage building. Fenestration is composed of wood frame and metal frame windows and panel doors, most of which appear to have been salvaged from earlier buildings. Exterior cladding is stucco and board and batten style siding.

## North Elevation (facing towards Las Encinas Lane)

This elevation is composed of the addition built in the 1970s, which is flanked on its east by the long side of the two-bay garage built sometime in the 1930s. The east end of the elevation is a recessed element composed of an addition built sometime in the 1940s or later. A notable feature of this elevation is the stuccoed buttress near the west end of the elevation. One of a pair of six-light wood windows on the long side of the garage wing have been covered with wood panels. Visible fenestration is confined to a single wood frame window in the recessed wing.



5 NORTH ELEVATION



6 EAST ELEVATION



7 SOUTH ELEVATION



8 WEST ELEVATION



FRONT DOOR



9 VIEW FROM SOUTHWEST



10 EXPOSED AREA OF HISTORIC REMNANT



SOUTH ELEVATION



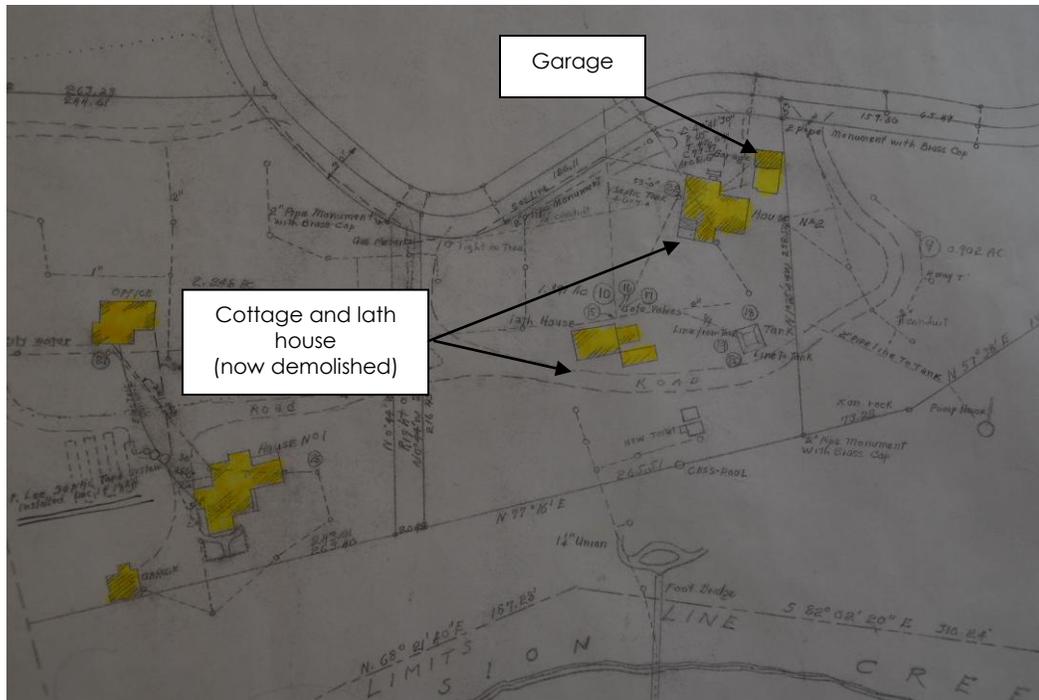
NORTH ELEVATION  
INTERIOR WINDOW IN  
HISTORIC REMNANT

**Figure 3, Elevations and Construction Details**

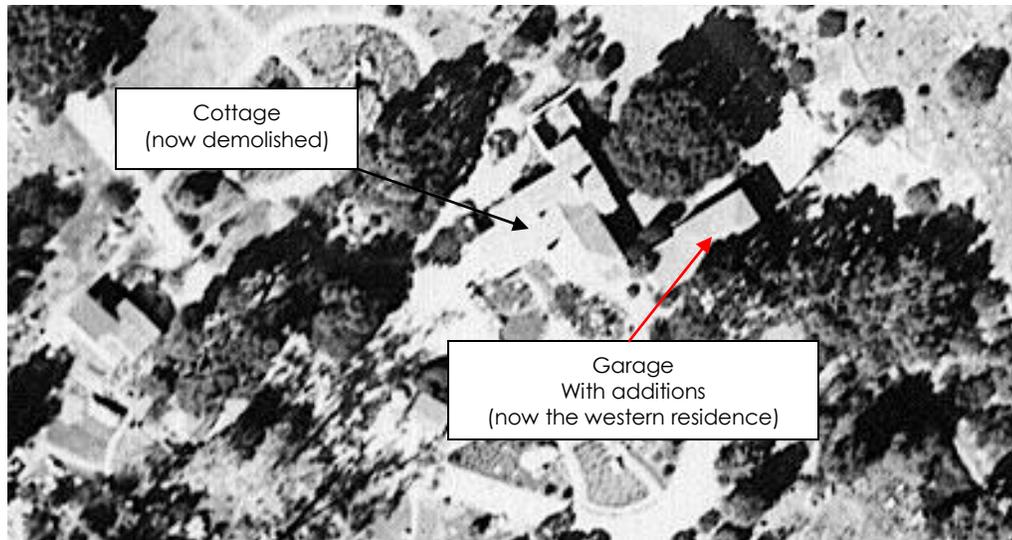
## Alterations and Modifications

As noted above, the original building was a one-bay garage with a brick floor and masonry walls designed by James Osborne Craig; it is likely this building had a hipped roof aligned in an east-

west direction. This roof was later replaced by the hipped existing roof, aligned in a north-south direction, when a two-bay garage was built off the north side of the one-bay garage (construction of the two-bay garage (likely in the 1930s) left in place an original four-light wood frame casement window, see Figure 3). Later, likely beginning in the late 1920s or early 1930s, a series of additions were made off the east and south elevations to add a residential unit for the estate's staff (Figures 3 - 6). Still later, in the 1960s and 1970s more additions were made which almost entirely encapsulated the original building. These additions, which were largely constructed of salvaged building material, include several wood plank doors likely salvaged from the adjacent cottage demolished by the Museum in the early 1960s.



**Figure 4, Hoffmann Estate in 1925**



**Figure 5, Hoffmann Estate in 1943**



**Figure 6, Hoffmann Estate in 1943**

### 4.3 Cultural Landscape

The Phase 1 HSSR identified a potential significant cultural landscape at the south end of Mission Canyon. The significance of this landscape is derived from its concentration of natural features and vegetation and its inventory of significant historic resources dating from the late 18<sup>th</sup> century through the late 1930s, which range from Mission Santa Barbara and its waterworks to the Santa Barbara Museum of Natural History.

## **Contributors:**

### 1) Natural Systems and Features:

- a) Mission Creek;
- b) Steep slope south of Mission Creek (most of which is not on SBMNH property);
- c) Overall pattern of sandstone outcrops.

### 2) Spatial Organization and Existing Patterns of Land Use:

- a) Overall pattern of native vegetation, especially oaks and sycamores, which represents, primarily, a regenerated woodland. This is mixed with non-native vegetation;
- b) Semi-rural pattern of vegetation interspersed with residential and institutional buildings.

### 3) Circulation:

- a) The existing circulation pattern of paved streets and the lack of paved sidewalks, especially around the residences on Mission Canyon Road and Puesta del Sol.

### 4) Structures and Features (not on Museum-owned parcels):

- a) Garden Street Academy (former Saint Anthony's Seminary);
- b) Mission Santa Barbara and its waterworks;
- c) Order of the Holy Cross (former St. Mary's Retreat House);
- d) Stone Bridge;
- e) The house and wall at 609 Mission Canyon Road;
- f) Wall on Mission Canyon Road: A cut sandstone boundary wall extending from the north end of the stone bridge to the intersection of Mission Canyon Road and Puesta del Sol;
- g) Rocky Nook Park;
- h) Oliver Memorial Trough (northeast corner of the intersection of Mountain Drive and Mission Canyon Road);
- i) The Santa Barbara Women's Club (670 Mission Canyon Road);
- j) Santa Barbara Museum of Natural History property, overall landscape;
- k) Parts of the Santa Barbara Museum of Natural History;
- l) Stone walls (former Hazard Estate boundary wall) built sometime after 1898 that define the south side of the 2500 block of Puesta del Sol. A less substantial stone wall, dating to the late 19<sup>th</sup> or early 20<sup>th</sup> century partially surrounds the Morehouse Residence at the west end of Puesta del Sol;
- m) Streetscape on the 2500 block of Puesta del Sol and Mission Canyon Road.

### 5) Views and Vistas:

- a) The views and vista from the SBMNH property towards the former St. Anthony's Seminary;
- b) View towards "Dial House" and "Mission Hill" to and from the SBMNH property.

**Non-Contributors:**

- a) Existing street lighting;
- b) Asphalt paving;
- c) Buildings, structures and features outlined in Table 1, Appendix C of the Phase 2 HSSR, as not eligible for listing as significant historic resources on the SBMNH property;
- d) Whale Skeleton on the SBMNH property;
- e) Non-native landscaping on museum property, which largely postdate 1950.



**1** 180° PANORAMA  
LOOKING NORTH FROM  
THE NORTH ELEVATION



**2** 180° PANORAMA  
LOOKING WEST FROM  
THE WEST ELEVATION



**3** 180° PANORAMA  
LOOKING SOUTH FROM  
THE SOUTH ELEVATION



**4** 180° PANORAMA  
LOOKING EAST FROM  
THE EAST ELEVATION

**Figure 7, Surrounding Landscape**

## 5.0 EVALUATING IMPACTS TO SIGNIFICANT HISTORIC RESOURCES

### 5.1 Regulatory Setting

Analysis of project impacts to significant historic resources is guided by the following:

City of Santa Barbara Master Environmental Assessment

Guidelines for the evaluation of potential project effects are found in Section 1.4 "Project Impact Evaluation Procedures, #10" of the City of Santa Barbara Master Environmental Assessment as follows:

*If the Historic Structures/Sites Report determines that historical structures/sites located at the proposed project site are significant historic resources, then the Historic Structures/Sites Report should include an analysis of the proposed project's potential effects on the resources. The Historic Structures/Sites Report should state the level of impact as significant and unavoidable (Class I), potentially significant unless mitigated (Class II) or less than significant (Class III). Potentially significant effects on significant historic resources are described in Section 2.3 Thresholds of Significance, Determining Significance of Impacts to Significant Historic Resources (MEA 2003: 63). In addition, potential direct, indirect and cumulative effects on overall site integrity and identified values should be considered. Effects on historic and architectural values are measured in terms of loss of exemplary or commemorative elements, structures and sites.*

*This evaluation of potential project effects on significant historic structures and/or sites should be based on overall site integrity and identified values should be considered. Effects on historic and architectural values are measures in terms of loss of exemplary or commemorative elements, structures, and sites.*

*This evaluation of potential project effects on significant historic structures and/or sites should be based on substantial information, and or should be presented in the Historic Structures/Sites Report in a well reasoned, defensible and logical manner. Conclusionary statements of potential project effects on significant historic resources are insufficient (City of Santa Barbara MEA 2002: 63).*

Mitigation measures are outlined in Section 2.5 of the MEA as follows;

*In-situ* preservation is the preferred manner of avoiding damage to significant historic resources.

1. Planning construction so that demolition or alteration of structures, sites, and natural objects are not required; and
2. Incorporating existing structures, sites, and natural objects into planned development whenever avoidance is not possible (City of Santa Barbara MEA 2002: 65).

As noted in the guidelines, the appropriateness of potential mitigation measures is dependent on the type of historic resource and its degree of importance. A resource's significance is tied to its level of eligibility for listing at the local, state and national level (City of Santa Barbara MEA 2002: 66-67).

The following range of potential mitigation measures are listed in the MEA:

- 1) Rehabilitation without relocation on site for use as habitable space, including compliance with all State Historic Building Code requirements. The Secretary of the Interior's Guidelines would apply to this treatment.
- 2) Preserving the historic structure on site as non-habitable space. The Secretary of the Interior's Guidelines would apply to this treatment.
- 3) Relocation and preservation of the historic structure on site for use as habitable space, including compliance with all State Historic Building Code requirements. The Secretary of the Interior's Guidelines would apply to this treatment.
- 4) Relocation and preservation of the historic structure on site for use as non-habitable space. The Secretary of the Interior's Guidelines would apply to this treatment.
- 5) Compatible incorporation of façade only of historic structure into the design of the new building on site (this treatment would not meet the Secretary of the Interior's Guidelines that would apply to this treatment).
- 6) Advertisements for acquisition and relocation of structures with its subsequent rehabilitation at its new site. The Secretary of the Interior's Guidelines would apply to this treatment.
- 7) Demolition of historic structures with recordation according to the Community Development Department's "Required Documentation Prior to Demolition" standards.
- 8) Commemoration of the demolished structure with a display of text and photograph within the new building.
- 9) Commemoration of the demolished structure with a display of text and photographs on the exterior of the new building.
- 10) Commemoration of the demolished structure with an enclosed display of texts and photographs on the perimeter of the property at the primary entrance.
- 11) Salvage of significant materials for conservation in an historical display (City of Santa Barbara MEA 2002: 66-67).

## 5.2 MEA Guidance

The MEA includes the following under State CEQA guidance:

CEQA Guidelines §15126.4(b) provides the following direction relative to the development of mitigation measures for historical resources.

(1) Where maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of a historical resource will be conducted in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for

Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings (1995), Weeks and Grimmer. The project's impact on the historical resource will generally be considered mitigated below a level of significance and thus is not significant,

(2) In some circumstances, documentation of a historical resource, by the way of historic narrative, photographs or architectural drawings, as mitigation for the effects of demolition of the resource will not mitigate the effects to a point where clearly no significant effect on the environment would occur (City of Santa Barbara MEA 2002: 65).

### **5.3 CEQA Guidance**

CEQA defines direct impacts as physical impacts that are caused by the implementation of a project and occur at the same time or place. Indirect impacts are visual or contextual impacts caused by the implementation of a project that are reasonably foreseeable, but occur at a different time or place (CEQA Guidelines, Section 15064 and 15355).

### **5.4 The Secretary of the Interior's Standards for the Treatment of Historic Properties**

Evolving from the Secretary of the Interior's Standards for Historic Preservation Projects with Guidelines for Applying the Standards that were developed in 1976, the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings were published in 1995 and codified as 36 CFR 67. Neither technical nor prescriptive, these standards are "intended to promote responsible preservation practices that help protect our Nation's irreplaceable cultural resources." The Secretary of the Interior's Standards for Rehabilitation are ten basic principles created to help preserve the distinctive character of an historic building and its site while allowing for reasonable changes to meet new needs. The Standards apply to historic buildings of all periods, styles, types, materials, and sizes. They apply to both the exterior and the interior of historic buildings. The Standards also encompass related landscape features and the building's site and environment as well as attached, adjacent, or related new construction. These Standards have been adopted, or are used informally, by many agencies at all levels of government to review projects that affect historic resources.

CEQA regulations identify the Secretary of the Interior's Standards as a measure to be used in determinations of whether or not a project or new development or rehabilitation adversely impacts an "historical resource." The Secretary of the Interior's Standards for the Treatment of Historic Properties state (for rehabilitation):

1. A property shall be used as its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of distinctive materials or alteration of features and spaces that characterize a property shall be avoided.

3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features will be substantiated by documentary, physical or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Therefore, in determining the impact of a project on a "historical resource," CEQA regulations require the application of the Secretary of the Interior's Standards to the question of whether the project results in a substantial adverse change to the resource and in particular those physical characteristics or character-defining spaces and features that convey its historical significance.

CEQA Guidelines Section 15064.5(b)(3) states: Generally, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (Secretary's Standards, Weeks and Grimmer, 1995) shall be considered as mitigated to a level of less than a significant impact on the historic resource.

While compliance with the Secretary's Standards indicates that a project may have a less than significant impact on a significant historical resource, the converse of this does not hold. Failure to comply with the Secretary's Standards is not, by definition, a significant impact under CEQA. CEQA recognizes that alterations that are not consistent with the Secretary's Standards may still not result in significant impacts on the historical resource. Therefore, the significance of project impacts on an historical resource can be evaluated by determining:

- Whether a project is in conformance with the Secretary's Standards (less-than-significant impact);
- Whether a project is in substantial conformance with the Secretary's Standards and does not result in material impairment (less-than-significant impact); or
- Whether a project is not in conformance with the Secretary's Standards and results in material impairment (significant impact).

The above criteria are important not only in determining whether the project would have a significant cultural resource impact but also in considering effective mitigation and alternatives.

Project impacts will be classified as follows:

- Beneficial Effect (Class IV): An impact that would result in beneficial changes to the environment.
- Less than Significant Impact (Class III): An impact that may be adverse but does not exceed threshold levels and does not require mitigation measures. However, mitigation measures that could further lessen the environmental effect may be suggested if readily available and easily achievable.
- Significant but Mitigable Impact (Class II): An impact that exceeds a threshold of significance but can be reduced to below the threshold level given reasonable available and feasible mitigation measures. Such an impact requires findings to be made under § 15091 of the State CEQA Guidelines.
- Unavoidably Significant Impact (Class I): An impact that exceeds a threshold of significance and cannot be reduced to below the threshold level, given reasonably available and feasible mitigation measures. Such impact requires a Statement of Overriding Considerations to be issued if the project is approved (per § 15093 of the State CEQA Guidelines).

## 5.5 Work Plan

The work plan focuses on evaluating the proposed project's impacts to significant historic resources including the existing residence and the surrounding significant cultural landscape identified in the Phase 1 HSSR and the Phase 2 HSSR. The level of analysis in this report is consistent with that needed to make historic resource finding and to evaluate whether the Historic Resource Protection Measures outlined in the Phase 2 HSSR have been implemented. The Secretary of the Interior's Standards for the Treatment of Historic Properties developed by the Department of the Interior will guide the evaluation:

Rehabilitation is defined as: *the act or process of making possible a compatible use for a property through, repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.*

Dwight Gregory, Architect, developed the architectural plans and the landscape plans were prepared by Van Atta Associates (see Appendix A).

The following section of the report provides an analysis of the revised design for the existing building at 2758 Las Encinas Lane and is keyed to the architectural and landscape plans in Appendix A.

## **5.6 Analysis of the Proposed Rehabilitation Plan**

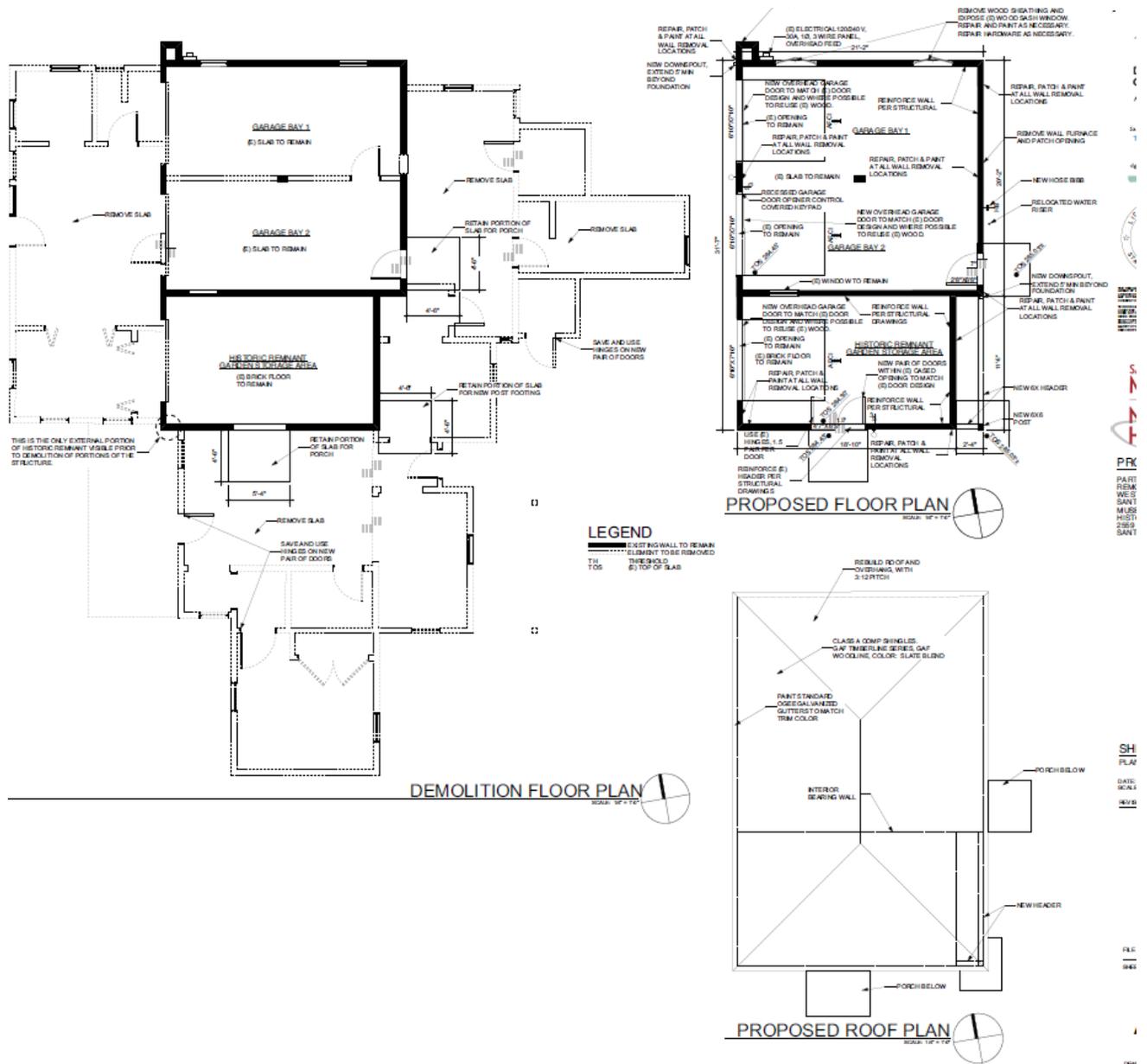
### **Existing Building**

The intent of the rehabilitation scheme is to preserve the remaining elements of the building dating to the 1920s and 1930s, Hoffmann estate period (including the one-bay garage designed by James Osborne Craig) by returning the building to an auxiliary-residential use and removing non-historic additions and modifications. The rehabilitation plan includes the following:

Demolition:

- The applicant proposes to demolish 1,398 square feet (gross) of the existing 2,039 square-foot residence leaving in-place an existing 232 square-foot single-bay garage built in 1920-1921 and a 409-square-foot (gross), two-bay garage projecting off the north side the one bay garage built in the late 1920s or early 1930s. Demolition would remove the residential component of the building including a kitchen, three bedrooms, two bathrooms, a living room, and workroom (Figures 8 & 10); and
- Existing concrete stoops and brick paving would be almost entirely removed (see Figure 8).

(see next page)



**Figure 8, Proposed Demolition Plan**

**Alterations/Repairs:**

- The portion of the existing roof structure capping the three garage bays would be retained and modified. The east side of the reconfigured roof would feature an extended eave supported by a 6-inch by 6-inch square wood post designed to emulate the appearance of the Hoffmann estate cottages' original posts as documented by period photographs (Figure 9).
- The existing roofing would be replaced by asphalt shingles;
- Three new garage bay doors would be set into the existing bay door openings. The

proposed garage doors have been designed to emulate in material, finish and appearance the original plank doors which feature horizontal shiplap designed by James Osborne Craig;

- The existing wood casement windows on the north elevation of the two-bay garage wing would remain in-place and be repaired;
- An existing four-light casement on the north elevation of the original one-bay garage would remain in place and be repaired (see Figure 10);
- An existing wood panel door on the east elevation would be retained and repaired;
- An existing opening in the south wall of the one-bay garage (now within the interior of the building) would be retained and converted to an exterior door by inserting two swing doors designed to emulate in material, finish and appearance the remaining historic doors on the building. As designed by Craig the vertical plank doors featured horizontal battens;
- Two wall-mounted Mediterranean style lantern would be installed adjacent to the south elevation's door and between the garage doors on the west elevation;
- The original one-bay garage's brick floor would be retained, repaired and cleaned;
- Exterior stucco will be retained, patched and painted Pratt and Lambert, Super One Coat, Exterior 33-3, Red Seal Premium 100% acrylic exterior (this is a non-elastomeric paint). Repair work would match the original stucco in texture and appearance;
- The woodwork, trim and eave gutters would be painted Pratt and Lambert Tea Leaf, 19-20, Red Seal Premium 100% acrylic exterior (this is a non-elastomeric paint); and;
- Existing masonry walls proposed for retention would be strengthened per the engineer's recommendations, retaining original fabric to the maximum extent feasible. Strengthening of the wall would be done on the interior side of the walls to preserve the existing exterior fabric to the maximum extent feasible.

#### Proposed Building Location:

- A building location of approximately 1,400 square feet located south of the existing residence is proposed for the future development of a single-family residence to replace the residential component being removed from what is now the residential unit (Figure 11a).

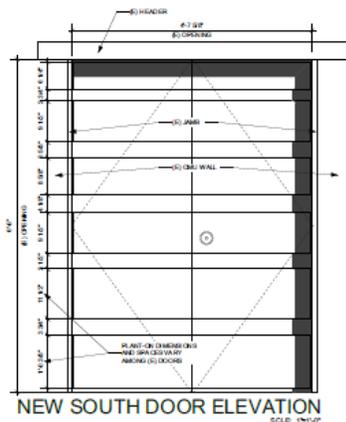
(see next page)



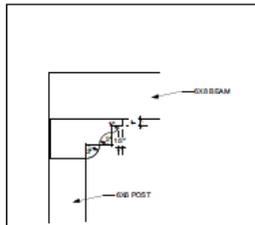
**Figure 9, Hoffmann Estate Cottage, Inspiration for Design of the Porch Post**



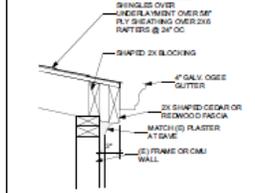
**Figure 10, Original Window on the North Elevation of One-Bay Garage (now an interior view)**



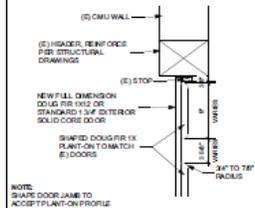
**SAVANNAH 8" OUTDOOR WALL LIGHT**  
VARCEL INTERNATIONAL, T8027, WISDOTLITES.COM PRODUCT ID:091702



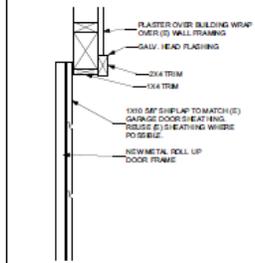
**CORBEL** 1/4" = 1'-0" **1**



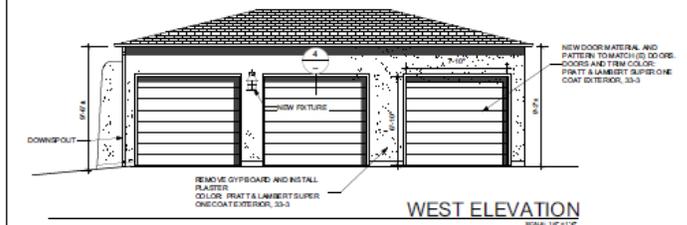
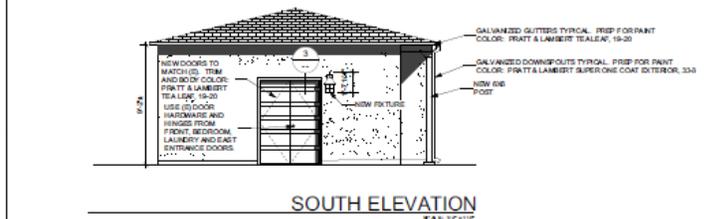
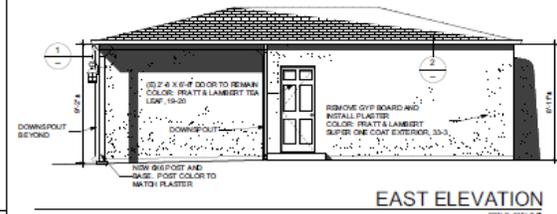
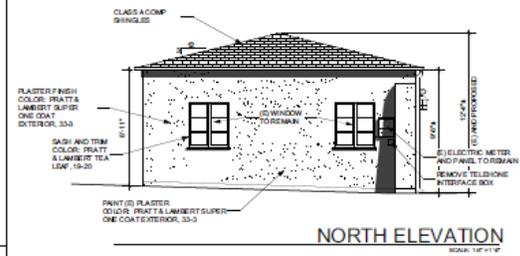
**EAVE** 1/4" = 1'-0" **2**



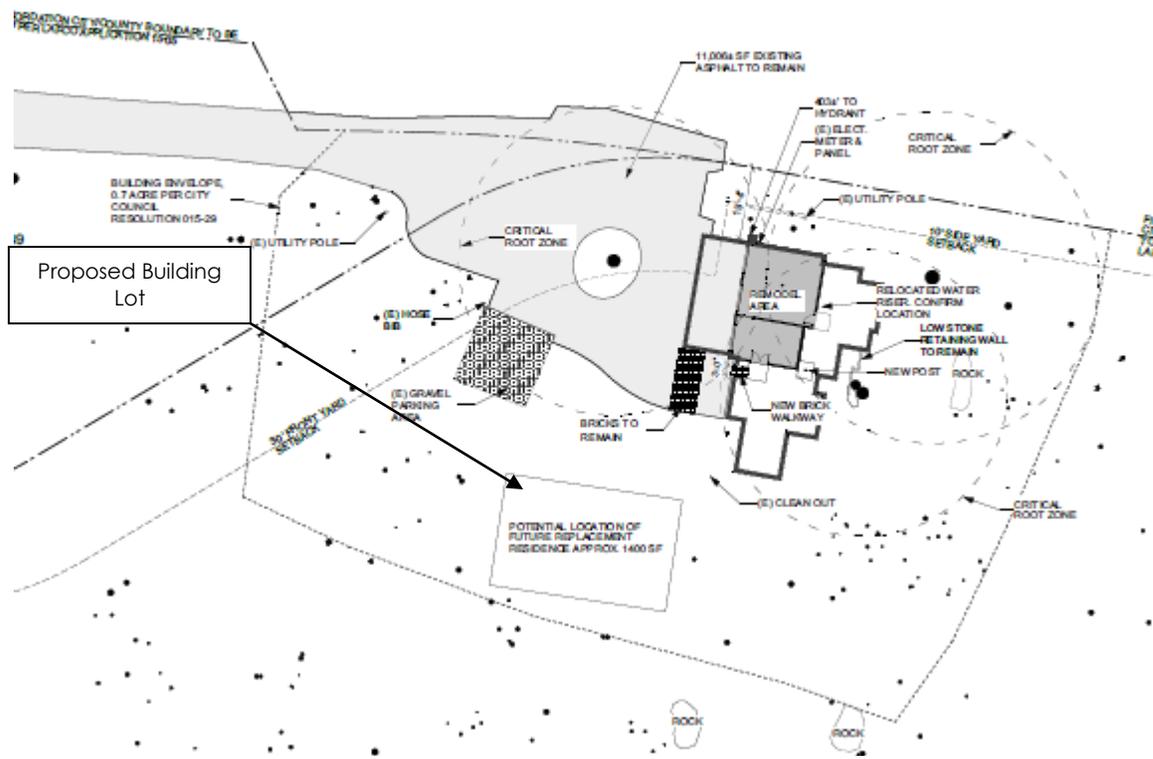
**(N) SOUTH DOOR** 1/4" = 1'-0" **3**



**(N) GARAGE DOOR** 1/4" = 1'-0" **4**



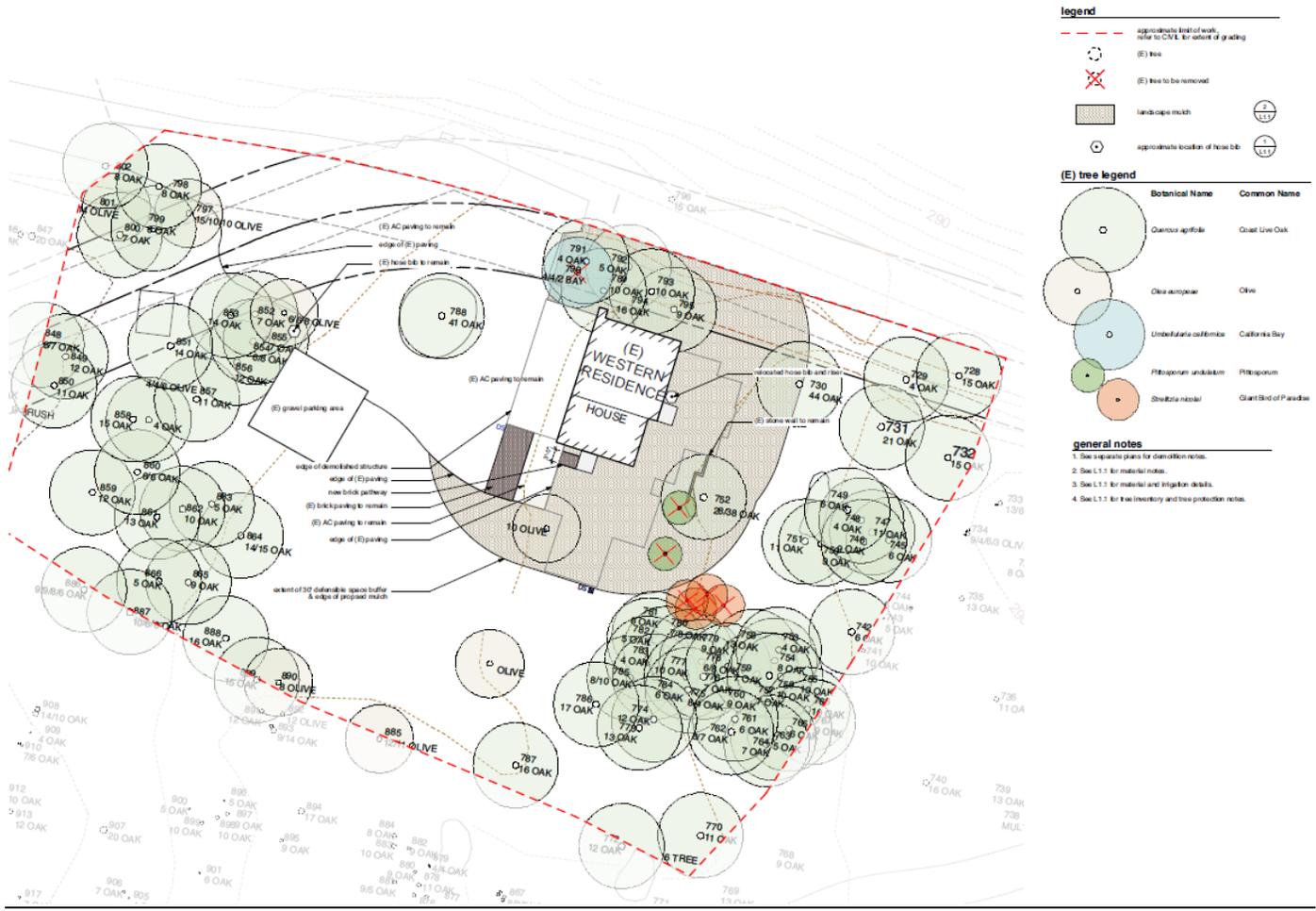
**Figure 11, Proposed Rehabilitation Plan**



**Figure 11a, Proposed Site Plan Depicting Proposed Building Location**

## Landscape

The proposed landscaping plan would remove a non-historic California bay tree (*Umbellularia californica*), three giant bird of paradise (*Strelitzia nicolai*) and a Victorian box tree (*Pittosporum undulatum*) (Figure 12). These trees do not form part of a historic landscape as they are not of sufficient size or age to date to the Hoffmann estate period; moreover, the Phase 1 HSSR concluded a historic designed landscape did not exist on this part of the property. The trees and smaller landscape material proposed for removal are not significant contributors to the surrounding Cultural Landscape, therefore their removal would not adversely affect the integrity of the Cultural Landscape. The proposed landscape scheme is confined to the removal of the plants listed above and non-historic paving located adjacent to the building. No native oaks or olive trees which contribute to the cultural landscape are proposed for removal.



**Figure 12, Landscape Plan**

Application of the Secretary of the Interior's Standards for Rehabilitation

Standard 1: A property shall be used as its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The Building

The building originally functioned as a garage and will be returned to its original use. The proposed plan retains and repairs existing historic fabric (at a future date the existing residential use will be housed in a detached residential unit). Therefore, the removal of the non-historic additions, which created a residential use for the building meets Standard 1.

The Cultural Landscape

The proposed removal of non-historic landscaping and the removal of non-historic additions to

the existing building meet Standard 1 and their implementation would have a less than significant impact on the Cultural Landscape.

Standard 2. *The historic character of a property shall be retained and preserved. The removal of distinctive materials or alteration of features and spaces that characterize a property shall be avoided.*

#### The Building

The proposed plan retains and repairs existing historic fabric such as the masonry and wood frame walls, stucco cladding, the brick flooring in the original garage bay and the remaining original windows and original doors. The retention and rehabilitation of these materials would return the building to a closer approximation of its historic appearance. Therefore, the removal of the non-historic additions, which created a residence, meets Standard 2.

#### The Cultural Landscape

The proposed removal of non-historic landscaping and the removal of non-historic additions to the existing building would not impair the integrity of the Cultural Landscape. Therefore, implementation of the proposed plans meets Standard 2 and would have a less than significant impact on the Cultural Landscape.

Standard 3. *Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

#### The Building

The proposed project does not propose to add conjectural features. Replacement features such as the new bay doors are based on the type of doors documented on the existing building or depicted on historic photographs of the Hoffmann Estate (Figure 9). New features such as the proposed light fixtures and the new posts supporting the rear porch and the paint colors (Figure 10) are based on historic precedents. Therefore, the proposed alterations meet Standard 3.

#### The Cultural Landscape

The proposed landscaping scheme does not propose to add conjectural features or elements or planting materials from other historic properties to the Cultural Landscape. Therefore, implementation of the proposed plans meets Standard 3 and its implementation would have a less than significant impact on the Cultural Landscape.

Standard 4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

#### The Building

The elements of the building proposed for removal postdate the original construction of the one-bay garage that is documented to be the work of James Osborne Craig and the two-bay garage that was likely added shortly after. Because the additions proposed for removal neither represent the work of James Osborne Craig nor date to the earlier period of the former Hoffmann estate, they are not contributors to the building's historic significance. Therefore, their removal meets Standard 4.

#### The Cultural Landscape

The proposed project does not propose removal of landscape features that have achieved significance in their own right. Therefore, the proposed changes to the landscape meet Standard 4.

Standard 5. *Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

#### The Building

The rehabilitation plan proposes the retention of the building's remaining historic fabric including masonry walls, wood frame walls, brick and concrete floors, stucco work and wood doors and windows. The project also proposes the retention and storage of two wood doors dating to the Hoffmann estate period that are now located on the non-historic additions. These doors were likely salvaged from the adjacent cottage when it was demolished in the 1960s. Because the project would retain historic fabric and expose more of the building's original exterior to public view, the proposed plan to rehabilitate the building meets Standard 5.

#### The Cultural Landscape

The proposed project does not propose the removal of distinctive landscape features that contribute to the significance of the Cultural Landscape. Therefore, the proposed changes to the landscape meet Standard 5.

Standard 6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features will be substantiated by documentary, physical or pictorial evidence.*

## The Building

The proposed rehabilitation plan would repair existing historic fabric such as the masonry and wood frame walls, stucco cladding, the brick flooring in the original garage bay and the remaining original windows and original doors. Where historic material is too deteriorated to repair or is missing (for example the section of exterior stucco removed to insert a heater on the east elevation), the replacement material would match the original in material, texture and appearance. Repair to the stuccowork will follow the guidance in Preservation Brief 22: *The Preservation and Repair of Historic Stucco.* Because the extent of repair work cannot be ascertained until the non-historic additions have been removed the following preservation treatment plan will be implemented by the architect and contractor and will be noted on the plan sheets:

- Existing exterior stuccowork will be repaired rather than replaced to the maximum extent feasible;
- *In areas where the original stuccowork was previously removed or is too deteriorated to repair, the new stucco will match the original in material, texture, finish and appearance;*
- Existing window frames and sash will be repaired preserving historic materials to the maximum extent feasible. If elements of the framing or glazing bars are too deteriorated to repair, the replacements will match the original in material, dimension, profile and appearance;
- Existing glazing will be preserved. Replacement glass will match the original in appearance;
- The existing door that is proposed for retention in place will be repaired in a manner that preserves historic material to the maximum extent feasible. If portions of the door's woodwork are too deteriorated to repair the replacement material shall match the original in material, dimension, profile and appearance; and
- As necessary, the historian of record for the project will provide guidance for the repair and replacement of historic building fabric.

Therefore, with the implementation of the proposed treatment plan for the retention and repair of historic construction materials and the replacement of missing construction fabric to match the original, the proposed project would meet Standard 6.

## The Cultural Landscape

The proposed project does not propose alterations to significant historic plantings or hardscape features. Therefore, the proposed changes to the landscape meet Standard 6.

*Standard 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

## The Building

Chemical treatments are confined to the removal and repainting of painted finishes on the existing doors and windows and exterior stucco cladding. The paint proposed for the stucco is Pratt and Lambert, Super One Coat, Exterior 33-3, Red Seal Premium 100% acrylic exterior (this is a non-elastomeric paint) and Pratt and Lambert, Tea Leaf, 19-20, Red Seal Premium 100% acrylic exterior (this is a non-elastomeric paint). This process would retain the existing window glazing and wood window framing and glazing bars and stuccowork without alterations confined to in-kind repair of the windows and stuccowork. Because the extent of repair work cannot be ascertained until the non-historic additions have been removed the following preservation treatment plan will be implemented by the architect and contractor and will be noted on the plan sheets:

- Cleaning methods will not employ abrasive materials and will employ the gentlest means necessary; and
- As necessary, the historian of record for the project will provide guidance for the cleaning of historic building fabric.

Therefore, with the implementation of the proposed treatment plan, the project would meet Standard 7.

## The Cultural Landscape

The proposed project does not propose interventions to the historic landscaping or hardscape thereby meeting Standard 7.

*Standard 8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

## The Building and the Cultural Landscape

The application of this criterion to archaeological deposits is beyond the purview of this report.

*Standard 9. New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the integrity of the property and its environment.*

## The Building

The project does not propose the removal or substantial alteration of building fabric associated with the original wing of the building designed by James Osborne Craig. The portions of the building proposed for removal were added after Craig's death and are not of architectural or historical significance. The proposed design of the new garage bays and reconfigured roof are

within the design vocabulary developed by Craig for the Hoffmann estate's original outbuildings

Post/Hazeltine Associates

Draft Phase 2 Historic Structures/Sites Letter Report

Reviewing Final Plans for the Rehabilitation of the Western Residence

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August 8, 2016

and their construction would not impair the building's ability to convey the remaining elements of its original scheme. The proposed paint colors are inspired by an older paint scheme traces of which are still present (see Figures 10 & 11). Therefore, the proposed project meets Standard 9.

### The Cultural Landscape

The proposed landscaping is confined to the removal of non-historic plantings and hardscape. New materials are confined to the installation of mulch. Therefore, the proposed changes to the landscape meet Standard 9.

*Standard 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

### The Building

New construction is confined to alterations to the roof, the installation of new garage bay doors and the insertion of a set of double doors into an existing opening on the south elevation of the one-bay garage. These alterations employ Craig's original design vocabulary and their installation does not require the removal of significant historic building fabric. Moreover, these changes are modest in scale and could be removed and or altered in the future with no impact to the building's remaining historic fabric. Therefore, the proposed project, which is reversible meets Standard 10.

### The Cultural Landscape

The mulch could be removed in the future with no impact to significant historic landscape features or the Cultural Landscape, thereby meeting Standard 10.

### **Evaluation of the Proposed Location for a Replacement Residential Unit**

In a future phase of work the applicant will be proposing the construction of a detached residential unit to replace the residential component of the Western Residence which is currently proposed for replacement. Conceptual plans for the proposed residential unit will be evaluated by a qualified historian prior to their submittal to the City review to ensure that the new building is sympathetic in scale, massing and design to the remaining elements of the original garage designed by James Osborne Craig. The proposed building location for the replacement residential unit is set a sufficient distance from the historic building to preserve the original garage's integrity of location and setting. Moreover, the proposed location of the new building would not impair the surrounding cultural landscape as it is located within an area that was originally developed in the early 1920s as part of the Hoffmann estate. Therefore, the proposed location of the building location meets Standard 9: *New additions, exterior alterations or related*

*new construction shall not destroy historic materials that characterize the property  
The new work shall be differentiated from the old and shall be compatible with the massing, size,*

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scale and architectural features to protect the integrity of the property and its environment; and Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## **6.0 SUMMARY OF FINDINGS AND CONCLUSIONS**

A Phase 2 Historic Structures/Sites Letter Report (Letter Report) was prepared by Post/Hazeltine Associates to evaluate final plans for rehabilitating an existing building at 2758 Las Encinas Lane. An analysis of the proposed project to return the building to a closer approximation of its historic appearance when first designed by the architect James Osborne Craig, and to make modest changes to the existing landscape, is consistent with the Secretary of the Interior's Standards for Rehabilitation. Therefore, its implementation would result in less than significant impacts to significant historic resources. The proposed project would not impact adjacent significant historic resources, including the surrounding cultural landscape. Therefore, project impacts to the surrounding cultural landscape are less than significant (Class III).

## **7.0 LIST OF RESOURCES CONSULTED DURING THE PREPARATION OF THIS REPORT**

### **Sources**

Skewes-Cox, Pamela & Robert Sweeney

2015 *Spanish Colonial Revival Style: Santa Barbara and the Architecture of James Osborne Craig and Mary McLaughlin Craig*. Rizzoli International Publications, Inc., New York.

Post/Hazeltine Associates

2009 Historic Structures/Sites Report for MacVeagh House, Cottage and Garage. Prepared for the Santa Barbara Museum of Natural History.

2011 Phase 1 Historic Structures/Sites Report for the Santa Barbara Museum of Natural History.

2012 Historic Structures/Sites Report for 653 Mission Canyon Road. Prepared for the Santa Barbara Museum of Natural History.

2014 Phase 2 Historic Structures/Sites Report for the Santa Barbara Museum of Natural History.

Suzanne Elledge Planning and Permitting Services, Inc.

2014 Santa Barbara Museum of Natural History 2014 Master Plan Applicant Report. March 17, 2014.

Post/Hazeltine Associates

Draft Phase 2 Historic Structures/Sites Letter Report

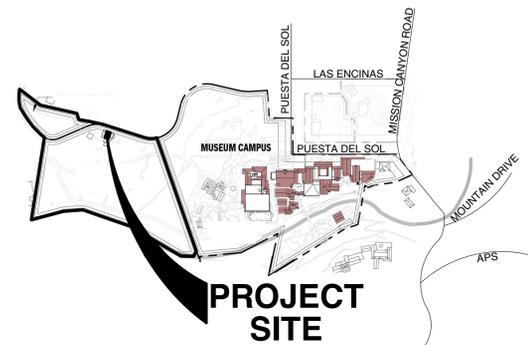
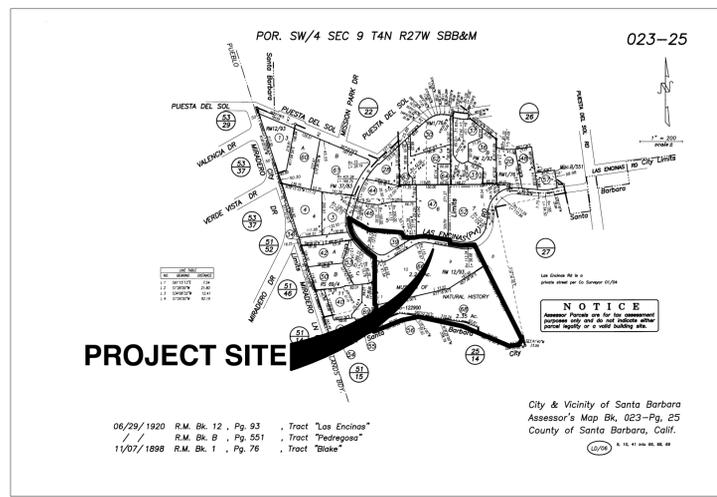
Reviewing Final Plans for the Rehabilitation of the Western Residence

Santa Barbara Museum of Natural History Property

2758 Las Encinas Lane, Santa Barbara, California

August 8, 2016

# APPENDIX A



### SHEET INDEX

- A1 PROJECT INFO & PARTIAL SITE PLAN
- S1.0 SURVEY/TOPO
- A 1.1 CITY COUNCIL RESOLUTION
- A 1.2 CITY COUNCIL RESOLUTION
- A 2 ENLARGED PARTIAL SITE PLAN
- A 3 DEMOLITION AND REMODEL FLOOR PLANS AND NOTES
- A 4 EXTERIOR ELEVATIONS AND DETAILS
- L1.0 PRELIMINARY LANDSCAPE PLAN
- PH1 PHOTOS OF AREA
- PH2 PHOTOS OF BUILDING EXTERIOR

### SCOPE OF WORK

- 1 DEMOLISH AS-BUILT PERMITTED AND NON-PERMITTED PORTIONS OF RESIDENCE PER CITY COUNCIL RESOLUTION 15-209
- 2 REMODEL REMAINING PORTION TO BECOME 2 GARAGE BAYS & STORAGE
- 3 REMOVE 7 TREES. SEE L1.0
- 4 ABANDON, CAP & MARK PHONE AND SEWER LINE LOCATIONS
- 5 MULCH AREA SHOWN ON L1.0
- 6 RECONSTRUCTION OF RESIDENCE TO BE DONE UNDER SEPARATE PERMIT

### NOTE:

CITY OF SANTA BARBARA ZONING AND GENERAL PLAN DESIGNATIONS TO BE FINALIZED UPON RECORDATION OF LAFCO REORGANIZATION MAP OF THE CITY/COUNTY BOUNDARY

### PROJECT INFORMATION

OWNER	SANTA BARBARA MUSEUM OF NATURAL HISTORY 2559 PUESTA DEL SOL SANTA BARBARA, CA 93105
CONTACT	BARBARA BARKER, PROJECT MANAGER 805-682-4711
PROJECT ADDRESS	2758 LAS ENCINAS LANE SANTA BARBARA, CA 93105
A.P.N.	023-250-039 FOR ACCESS AND 023-250-066 FOR THE PROJECT
ZONE	E-1
GENERAL PLAN DESIGNATION	LOW DENSITY RESIDENTIAL, MAXIMUM 3 DWELLING UNITS / ACRE
LOT AREA OF 023-250-066	95,743.34 SF (2.20 AC) 5.46%
AVERAGE LOT SLOPE APN 023-250-066	
TREES T BE REMOVED, SEE L1.0	1 CALIFORNIA BAY 2 PITTOSPORUM 4 GIANT BIRD OF PARADISE
LOT COVERAGE DATA FOR 023-250-066	EXISTING 2039 SF 2% 8185 SF 9% 100 SF 0.01% 85,419.34 SF 89% PROPOSED 1934 SF NET 1334 SF 600 SF 200 SF 400 SF 600 SF -1334 SF 69%
AREA OF (E) STRUCTURE	2039 SF GROSS
AREA OF DEMOLITION	1398 SF
AREA OF REMODEL	641 SF
AREA OF HISTORIC REMNANT, STORAGE	232 SF
AREA OF 2 CAR GARAGE	409 SF
AREA OF PROPOSED STRUCTURE	641 SF
NET CHANGE IN AREA OF STRUCTURE	-1398 SF
PERCENT REDUCTION IN AREA	69%

NUMBER OF BEDROOMS TO BE REMOVED	2
PARKING: EXISTING	2 UNCOVERED
PROPOSED	2 UNCOVERED, 2 COVERED
GRADING	0 C.Y. CUT, 0 C.Y. FILL, 0 C.Y. IMPORT, 0 C.Y. EXPORT
CBC OCCUP	M, U
CBC CONSTRUCTION TYPE	V-B
APPROXIMATE HEIGHT OF REMODELED STRUCTURE	12'-4"
HIGH FIRE AREA	YES
DISTANCE TO FIRE HYDRANT	403±
FLOOD PLAIN	NO

### PROJECT TEAM

ARCHITECT	DWIGHT GREGORY AND ASSOCIATES 2800 EXETER PLACE SANTA BARBARA, CA 93105-2218 DWIGHT GREGORY PHONE: 805-569-5380
STRUCTURAL ENGINEER	EHLEN, SPIESS, & HAIGHT, INC. 1119 GARDEN ST. SANTA BARBARA CA 93101 JEFF HAIGHT 963-1210 PHONE 805-963-1210
SPECIAL INSPECTIONS BY	PACIFIC MATERIAS LAB 35 SOUTH LA PATERA LANE GOLETA CA 93117 RON PIKE PHONE 805-964-6901
ASBESTOS CONSULTANT	FORBESS CONSULTING GROUP, INC. 1009 MERCER AVE OJAI CA 93023 ALAN FORBESS PHONE 805-646-1995
CONTRACTOR	LYNN MORRIS CONTRACTING P O BOX 4666 SANTA BARBARA CA 93140 LYNN MORRIS PHONE 805-560-9000
PLANNING CONSULTANT	SEPPS, INC. 1625 STATE STREET SUITE 1 SANTA BARBARA CA 93101 HEIDI JONES PHONE 805-966-2758
ELECTRICAL ENGINEER	SMITH ENGINEERING ASSOCIATES 920 DE LA VINA STREET SANTA BARBARA CA 93101 BRIAN SMITH, PE PHONE 805-966-2877
LANDSCAPE ARCHITECT	VAN ATTA ASSOCIATES INC. 235 PALM AVENUE SANTA BARBARA CA 93101 GUILLERMO GONZALES PHONE 805-730-7444
ARCHITECTURAL HISTORIAN	POST/HAZELTINE ASSOCIATES 2607 ORELLA STREET SANTA BARBARA CA 93105 PAM POST & TIM HAZELTINE PHONE 805-682-5751
CIVIL ENGINEER	FLOWERS & ASSOCIATES 201 N CALLE CESAR CHAVEZ #100 SANTA BARBARA CA 93103 VERN WILLIAMS PHONE 805-966-2224

**AP MAP**  
SCALE: NONE

**SITE PLAN AND VICINITY MAP**  
NO SCALE

### LEGEND

5 PHOTO VANTAGE POINT AND VIEW ANGLE

AREA OF RESIDENCE TO BE REMODELED

CRITICAL ROOT ZONE, TYP.

ASPHALT TO REMAIN

FINAL RECORDATION CITY/COUNTY BOUNDARY TO BE ADJUSTED PER LAFCO APPLICATION 15-05

REMOVE WOOD DECK BRICKS TO REMAIN

REMOVE CHAIN LINK FENCE

RELOCATE (E) WATER RISER

ABANDON (E) SEWER LINE IN PLACE

AREA OF RESIDENCE TO BE DEMOLISHED

RELOCATE (E) WATER RISER

ABANDON (E) SEWER LINE IN PLACE

RELOCATE (E) WATER RISER

ABANDON (E) SEWER LINE IN PLACE

RELOCATE (E) WATER RISER

ABANDON (E) SEWER LINE IN PLACE

RELOCATE (E) WATER RISER

ABANDON (E) SEWER LINE IN PLACE

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RELOCATE (E) WATER RISER

ABANDON (E) SEWER LINE IN PLACE

RELOCATE (E) WATER RISER

ABANDON (E) SEWER LINE IN PLACE

RELOCATE (E) WATER RISER

ABANDON (E) SEWER LINE IN PLACE

**PARTIAL SITE PLAN**  
SCALE: 1" = 40'



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dgregoria@verizon.net



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### PROJECT:

PARTIAL DEMOLITION AND REMODEL AT:  
WESTERN RESIDENCE  
SANTA BARBARA MUSEUM OF NATURAL HISTORY  
2559 PUESTA DEL SOL  
SANTA BARBARA, CA 93105

**2758 LAS ENCINAS LANE  
WESTERN RESIDENCE**

### SHEET TITLE:

PROJECT INFO & SITE PLAN

DATE: 6/24/15  
SCALE: AS SHOWN

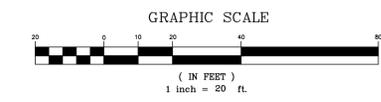
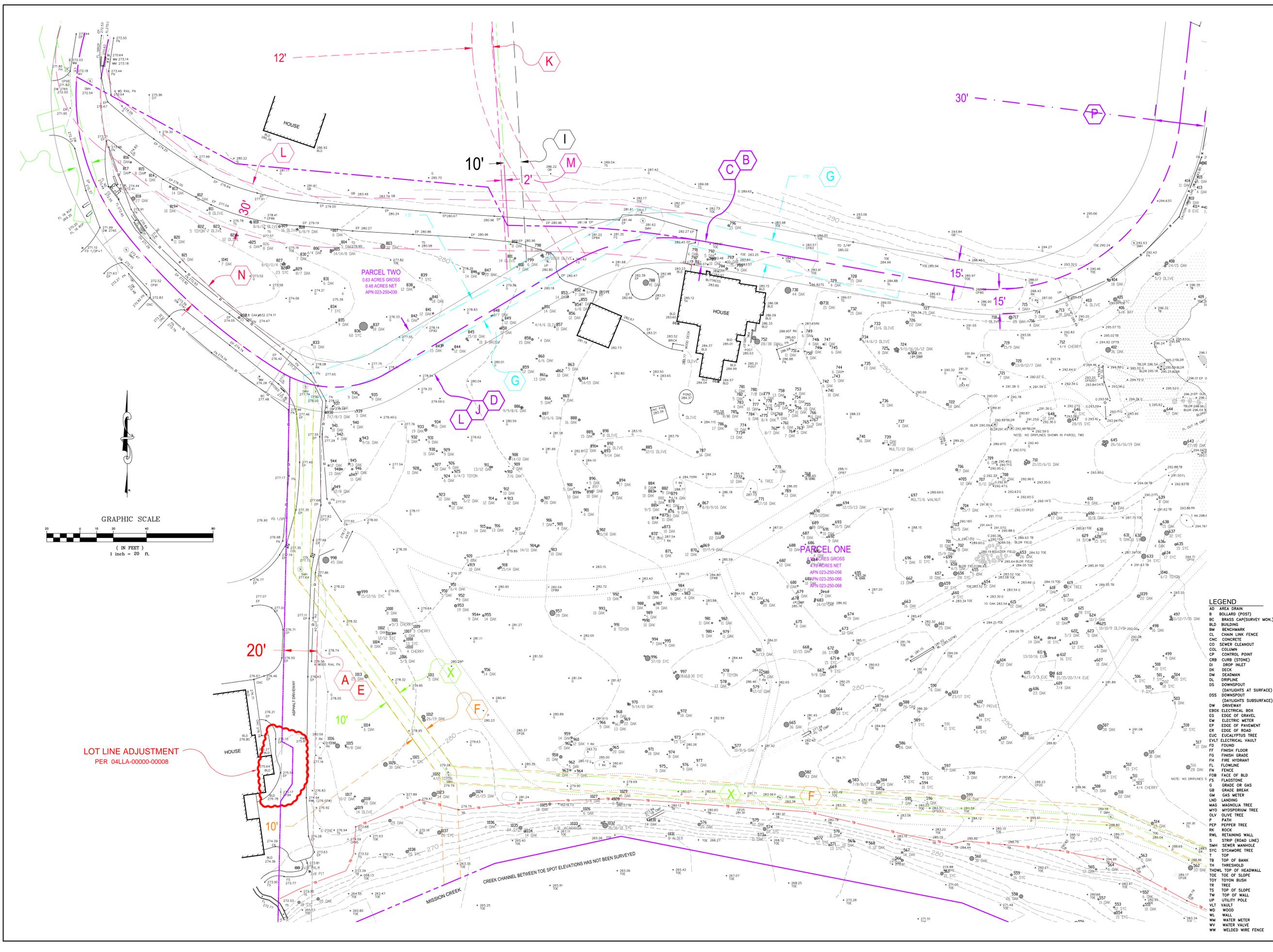
REVISIONS

JOB NO.: 2758WR

SHEET:

**A1**

DRAWN BY: DG 7/25/16



LOT LINE ADJUSTMENT  
 PER OALLA-0000-00008

CREEK CHANNEL BETWEEN TOE SPOT ELEVATIONS HAS NOT BEEN SURVEYED

- LEGEND**
- AD AREA DRAIN
  - B BOLLARD (POST)
  - BC BRASS CAP(SURVEY MON.)
  - BLD BUILDING
  - BM BENCHMARK
  - CL CHAIN LINK FENCE
  - CNC CONCRETE
  - CO SEWER CLEANOUT
  - COL COLUMN
  - CP CONTROL WALL
  - CRB CURB (STONE)
  - DI DROP INLET
  - DK DECK
  - DM DEADMAN
  - DL DRIPLINE
  - DS DOWNSPOUT (DAYLIGHTS AT SURFACE)
  - DSS DOWNSPOUT (DAYLIGHTS SUBSURFACE)
  - DW DRIVEWAY
  - EBOX ELECTRICAL BOX
  - EG EDGE OF GRAVEL
  - EM ELECTRIC METER
  - EP EDGE OF PAVEMENT
  - ER EDGE OF ROAD
  - EUC EUCALYPTUS TREE
  - EVL ELECTRICAL VAULT
  - FD FINISH FLOOR
  - FG FINISH GRADE
  - FI FIRE HYDRANT
  - FL FLOWLINE
  - FN FENCE
  - FOB FACE OF BLD
  - FLAGSTONE
  - G GRADE OR GAS
  - GB GRADE BREAK
  - GM GAS METER
  - LND LANDING
  - MAG MAGNOLIA TREE
  - MY MYOPORIUM TREE
  - OLV OLIVE TREE
  - P PATH
  - PEP PEPPER TREE
  - PK ROCK
  - RWL RETAINING WALL
  - S STRIP (ROAD LINE)
  - SEW SEWER MANHOLE
  - SYC SYCAMORE TREE
  - T TOP
  - TB TOP OF BANK
  - TH THRESHOLD
  - THWL TOP OF HEADWALL
  - TOE TOE OF SLOPE
  - TOY TOYON BUSH
  - TS TS TOP OF SLOPE
  - TW TOP OF WALL
  - UP UTILITY POLE
  - VLT VAULT
  - WD WOOD
  - WL WALL
  - WM WATER METER
  - WV WATER VALVE
  - WW WELDED WIRE FENCE

RESOLUTION NO.

A RESOLUTION OF THE COUNCIL OF THE CITY OF SANTA BARBARA DENYING THE APPEAL OF MARK AND LAUREN CAREY AND UPHOLDING THE DECISION OF THE PLANNING COMMISSION GRANTING AN AMENDED CONDITIONAL USE PERMIT AND PARKING MODIFICATION FOR THE SANTA BARBARA MUSEUM OF NATURAL HISTORY (2559 PUESTA DEL SOL)

WHEREAS, in order to implement a proposed Master Plan, the Santa Barbara Museum of Natural History applied for an amended Conditional Use Permit, a parking modification, and an annexation of Museum owned parcels located within the County of Santa Barbara into the City.

WHEREAS, as part of the amended Conditional Use Permit, the Museum proposed the following physical improvements on the Museum's property located at 2559 Puesta del Sol: improved pedestrian accessibility and Americans with Disabilities Act (ADA) improvements; renovations to the Marine/Paleontology/Geology Exhibit Hall and restrooms resulting in a net decrease of 194 square feet; replacement of the butterfly exhibit; rehabilitation of Gould Hall; conversion of the 475 square-foot MacVeagh Cottage from residential use to educational non-residential use; relocation of trash and recycling; new fencing; new soundwall/visual screen along the northeasterly portion of the parking lot; as-built improvements to existing bioswale and outdoor activity areas; native habitat restoration; landscape improvements, including removal of approximately 2,800 square feet of existing asphalt; mechanical equipment upgrades; and interior repairs to existing buildings.

WHEREAS, the amended Conditional Use Permit results in a net increase in accessible Museum parking spaces (from 6 to 7), a net loss of Museum parking spaces overall (from 156 to 155), and an addition of four bicycle spaces (from 18 to 22).

WHEREAS, the following Assessor Parcel Numbers are subject to the terms of the amended Conditional Use Permit: APNs 023-272-003 and -004. Upon the completion of the proposed annexation, the following Assessor Parcel Numbers shall also be subject to the Conditional Use Permit: APNs 023-250-039, -056, -066, and -068 (hereinafter referred to as the Western Parcels). Existing development on the Western Parcels includes a single family residence. The project includes maintenance of the existing uses of the Western Parcels which consist of the use of the single family residence, passive recreation including public use of a trail network, and Museum educational activities. The project includes the improvements shown on the plans signed by the chairperson of the

Planning Commission on January 8, 2015, and on file at the City of Santa Barbara.

WHEREAS, on January 8, 2015, the Planning Commission conducted a duly noticed public hearing and approved the amended conditional use permit, the parking modification, and recommended that the City Council grant the proposed annexation.

WHEREAS, on January 20, 2015, Mark and Lauren Carey timely filed an appeal of the Planning Commission's approval. In their appeal letter, the Careys objected to the proposed installation of an exterior speaker system for Museum announcements and the proposed relocation of the trash bins to a location within the Museum parking lot. In addition, the Careys requested imposition of additional conditions of approval intended to reduce the impacts of the proposed construction and objected to the environmental determinations for the project.

WHEREAS, on March 23, 2015, the City Council conducted a duly noticed site visit during which members of the City Council inquired into and observed the physical aspects of the issues presented on appeal including the planning, Mark and Lauren Carey and Richard Solomon also attended the site visit.

WHEREAS, on March 24, 2015, the City Council conducted a duly noticed public hearing on the appeal. The City Council in the appeal hearing considered the entire record of proceedings, including without limitation the following evidence relied upon by the Council:

- 1. A detailed written report and staff presentation, including a City staff report discussing the appeal issues and a PowerPoint presentation.
2. The Planning Commission staff report and attachments thereto.
3. Presentations by appellant Lauren Carey and her neighbor Richard Solomon, detailing the grounds of the appeal, which are part of the record in this case and were fully considered by the City Council in making its decision on this appeal.
4. A detailed presentation by Suzanne Elledge, agent for the Santa Barbara Museum of Natural History, including a Power Point presentation; by Luke Sweeland, CEO of the Santa Barbara Museum of Natural History; and by Mike Huff of Dudek & Associates on behalf of the Museum regarding the Museum's Fire Protection Plan.
5. Public comments of Planning Commissioner Michael Jordan regarding the appeal issues and the deliberations of the Planning Commission.
6. Public comment, both oral and written, from members of public.

All of the above evidence and the entire record of proceedings is incorporated by reference into this Resolution, which is based upon the entirety of the record of proceedings.

WHEREAS, after consideration of all of the evidence presented (both written and oral), as well as the public testimony received, and after deliberation by the Council members, the City Council voted 6-1 (Council member Murillo dissenting) to direct the preparation of written findings which, consistent with the oral findings made by Council, would deny the appeal and grant the amended Conditional Use Permit and the parking modification.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF SANTA BARBARA AS FOLLOWS:

SECTION 1. The foregoing recitals are true and correct and are incorporated into these findings.

SECTION 2. All written, graphic and oral materials and information submitted to the Planning Commission and the City Council by City staff, the public and the parties are hereby accepted as part of the record of proceedings.

SECTION 3. The Council has carefully reviewed the evidence it obtained during the site visit and public hearing as described above and from the record of proceedings, and based upon that evidence denies the appeal and upholds the decision of the Planning Commission approving the amended Conditional Use Permit and Parking Modification, making the findings and determinations set forth below.

A. Amended Conditional Use Permit.

1. The City Council finds that the uses proposed within the amended Conditional Use Permit deemed essential and desirable to the public convenience and welfare and, with implementation of the adopted conditions of approval, are in harmony with the various elements or objectives of the Comprehensive General Plan. The City Council finds the Museum to be an important public institution of long-standing importance within the community and the neighborhood which contributes to the community's appreciation and understanding of the City's history and its natural environment. Substantial public testimony before the City Council establishes the important benefits that the Museum provides to the community as a whole. The Museum uses are in harmony with the various elements or objectives of the General Plan, as discussed in sections V and VII of the Planning Commission staff report dated December 23, 2014, incorporated by this reference.

2. The City Council finds that the Museum uses will not be materially detrimental to the public peace, health, safety, comfort and general welfare and will not materially affect property values in the particular neighborhood involved. The Museum has operated in the same location in a similar manner for decades. The conditions included in the amended Conditional Use Permit are in many instances more restrictive regarding Museum operations than are existing conditions of approval. The implementation of the conditions of approval, particularly those relating to high attendance events/facility rentals and noise, insures that the uses proposed within the Museum Master Plan will not be materially detrimental to the public peace, health, safety, comfort and general welfare. Regarding the proposed exterior speaker system for public address announcements, the City Council has adopted a condition of approval that requires testing to verify that the system will not increase the ambient noise level by more than 2dBA at the property boundary before the system may be put into normal operation. The proposed location of the trash and recycling bins will be enclosed and will remain hundreds of feet from the residences of the appellants and of Mr. Solomon, which is an adequate setback for trash enclosures. The proposed bin enclosure is situated in the southwest corner of the parking lot, a location that facilitates pick up by collection trucks, improves safety by reducing the potential for pedestrian conflicts, and eliminates a 225-foot long back-up maneuver and associated beeping back up alarm, all of which the City Council determines to be a substantial benefit to the entire neighborhood. According to a noise study by DUDEK, dated July 2014, the relocation of the trash and recycling reduces Museum operational noise overall. The project plans and conditions of approval also reflect the Museum's commitment to construct a 120-foot long, 6-foot high sound wall, which will serve to further protect the appellants' residences from noise. Conditions of approval address construction implementation; these conditions include neighborhood notification prior to construction, contractor contact information, restricted construction hours, site rules to reduce noise, restricted areas for construction parking and materials and equipment staging, noise shields for certain stationary equipment and Museum contact information for noise complaints. Conditions of approval also incorporate Museum procedures to manage events, traffic and parking, and emergencies, including fire evacuation. Project components referenced in the Applicant's report dated December 1, 2014 will be gradually and individually implemented over the life of the Master Plan; construction will not be continuous over this time period. For all these reasons, the City Council determines that testimony regarding a potential material effect on neighborhood property values is speculative and based on inaccurate information; the City Council finds that the uses allowed under the amended Conditional Use Permit will not materially affect property values in the surrounding neighborhood.

3. The City Council finds that the total area of the site and the setbacks of all facilities from property and street lines are of sufficient magnitude in view of the character of the land and of the proposed development that the significant detrimental impact on surrounding properties is avoided. 70% of the project site consists of landscaping and open space area. The project proposes no new buildings and only minimal changes to the Museum site. Museum attendance utilizing these facilities will remain within previously achieved and permitted levels. As discussed above, adequate setbacks are provided for trash enclosures and other potential sources of noise. An enhanced landscape buffer and 120-foot long sound wall is proposed along the northern boundary of the parking lot adjacent to the appellants' property.

4. The City Council finds that the amended Conditional Use Permit proposes adequate access and off-street parking including parking for guests, provided in a manner and amount so that the demands of the development for such facilities are adequately met without altering the character of the public streets in the area at any time. The parking demand study for the project demonstrates that the Museum's parking lot provides an adequate number of spaces to accommodate, and historically has accommodated, normal Museum operations. Conditions of approval require that measures be taken by the Museum to provide additional parking capacity when the Museum anticipates that such additional parking capacity will be needed; these measures are detailed in the Museum's Procedures and Requirements for Event Management, and include but are not limited to the provision of off-site parking capacity out of Mission Canyon. Parking demand for all Museum operations can be met without altering the character of area public streets.

5. The City Council finds that the appearance of the developed site in terms of the arrangement, height, scale and architectural style of the buildings, location of parking areas, landscaping and other features is compatible with the character of the area. The City Council finds the minor alterations proposed to the exterior of the Museum facility to be compatible with the character of the area, of which the Museum has been a part for nearly 100 years. The Historic Landmarks Commission unanimously found the proposed project improvements to be compatible with the existing buildings and area character.

6. There are no additional required findings for a Conditional Use Permit issued for a quasi-public use.
B. Parking Modification.
The City Council finds that the proposed modification will not be inconsistent with the purposes and intent of Title 28 of the Santa Barbara Municipal Code. Granting the modification will not cause an increase in the demand for parking or loading in the immediate area. The amended Condition Use Permit does not propose any increase in the maximum permitted attendance from what has historically occurred at the site. The applicant provided a Traffic, Circulation, and Parking Report prepared by Associated Transportation Engineers dated July 15, 2014 that projects a future peak parking demand of 137 spaces for regular use. The Museum has operated for many years providing a total of 156 spaces, and

has previously been granted parking modifications by the City. The proposed Master Plan reduces the number of parking spaces from 156 to 155. Additional parking is needed during some high attendance events, so the conditions of approval require that the Museum provide enhanced parking capacity for such events, including but not limited to provision of offsite, out-of-canyon parking and shuttles. Based on the historical experience of the Museum operations within 156 parking spaces, the parking demand study anticipating a future parking demand of 137 for regular use, and the imposition of conditions of approval for additional parking for high attendance events, the City Council finds that the loss of one Museum parking space will not cause an increase in demand for parking space in the immediate area. A designated bus loading/unloading zone is required to be provided by the conditions of approval.

C. All summaries of information in the findings in this Resolution are based upon substantial evidence in the record. The absence of any particular fact from any summary contained in a finding does not indicate that a particular finding is not based upon that fact. All evidence in the record shall be considered when interpreting the findings.

D. California Environmental Quality Act Determinations. The State CEQA Guidelines identify the following applicable classes of projects that are exempt from CEQA review. The City Council finds the following classes of exemptions to apply to the following elements of the proposed project:
Museum Alterations, Western Residence, As-built Outdoor Activity Areas, Landscape Improvements, Asphalt Removal.

Section 15301 exempts the operation, maintenance, permitting, or minor alteration of existing structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use. The listed examples include interior and exterior alterations involving such things as interior partitions, plumbing, and electrical and additions to existing structures of up to 2,500 square feet, and conversion of a single family residence to office use. This exemption applies to the alterations to the Museum campus buildings and structures; abatement of as-built violators for portions of the Western Residence; permitting of the as-built and proposed changes to the outdoor activity areas; and landscape improvements, including asphalt removal. The Museum renovations result in a net reduction of floor area and a net reduction in impermeable surface area.

Butterfly Exhibit Replacement.

Section 15302 exempts replacement and reconstruction of existing structures where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. This exemption applies to the replacement of the Butterfly

Exhibit because the Butterfly Exhibit Replacement structure will be sited in the same location as the existing structure and will have the same purpose and capacity as the existing structure.

Creekside Terrace, Trash Enclosure, Sound Wall, Fencing, Conversion of MacVeagh Cottage, Parking Lot Changes, Sidewalk, Accessibility Improvements.

Section 15303 exempts construction and location of new small structures and the conversion of existing small structures from one use to another. This exemption applies to the new creekside terrace; accessibility improvements; trash enclosure; sound wall; new fencing; conversion of MacVeagh Cottage from residential to non-residential use; changes to the parking lot; and right-of-way improvements, including the new sidewalk. The Museum renovations result in a net reduction of floor area and a net reduction in impermeable surface area. These changes to existing structures and small structures fall well within the scope of examples listed in the Guidelines. They are accessory to the operation of structures and far smaller and less impactful than the addition of 2500 square feet of office or a single family dwelling listed in Section 15303.

Conditional Use Permit Amendment and Parking Modification.

Section 15305 exempts minor alterations in land use limitation, which do not result in any changes to land use and density. The Museum has operated in the same location in a similar manner for decades. The conditions included in the amended Conditional Use Permit, particularly those relating to high attendance events/facility rentals and noise, insure that the uses proposed within the Museum Master Plan will maintain potential impacts to neighbors at existing levels or minimize potential impacts further. Regarding parking, based on the historical experience of the Museum operations within 156 parking spaces, the parking demand study anticipating a future parking demand of 137 for regular use, so loss of one space is a minor change in a land use limitation. This exemption therefore applies to the Conditional Use Permit Amendment and requested Parking Modification.

Habitat Restoration.

Section 15307 exempts City actions to assure maintenance, restoration, enhancement, or protection of the environment where the regulatory process involves procedures for protection of the environment. Section 15333 exempts small habitat restoration projects that are less than five acres in size which are done to assure the maintenance, restoration, enhancement, or protection of habitat for fish, plants, or wildlife provided that there would be no significant adverse impact on endangered, rare or threatened species or their habitat, there are no hazardous materials at or around the project site that may be disturbed or removed, and the project will not result in impacts that are significant when viewed in connection with the effects of past projects, the effects of other current

projects, and the effects of probably future projects. Examples listed include the revegetation of disturbed areas with native plant species, stream bank revegetation, and projects to restore or enhance habitat that are carried out principally with hand labor and not mechanized equipment. The habitat restoration associated with this project will be on an area less than five acres in size. The biological report prepared by Mark De La Garza describes the area and type of activities to be conducted. Specifically, the activities will consist of maintenance, restoration, enhancement, and protection of the oak woodland and other impacted or degraded habitat around the Museum. These exemptions apply to the Western Parcels habitat restoration.

Annexation.

Section 15319(a) exempts annexations to a city of areas containing existing private structures developed to the density allowed by the current zoning of either the gaining or losing governmental agency, whichever is more restrictive, provided that the extension of utility services to the existing facilities would have a capacity to serve only the existing facilities. Section 15319(b) exempts annexations of individual small parcels of the minimum size to allow for facilities exempted by Section 15303 (New Construction or Conversion of Small Structures), including single-family residences, accessory structures, utilities, and street improvements. The properties proposed for annexation (the Museum parcels identified as APNs 023-250-039, -066, and -068, and the 609 Mission Canyon Road parcels identified as APNs 023-271-005 and -006, and a portion of the Mission Canyon Road right-of-way) are located in an unincorporated holding surrounded by the City of Santa Barbara. These parcels are all already surrounded by City services and utilities. The annexation of these parcels qualify for this exemption because (a) they are already developed to the density allowed by both the City and the County or (b) they are an individual small parcel of the minimum size allowed under the small structures exemption (Section 15303).

None of the exceptions to the CEQA categorical exemptions listed in Section 15302 apply to the proposed project for a number of reasons. The Museum has had an existing facility on the site for almost 100 years. The current permits, structures, and operations have been in place for decades. The Museum is not making any significant changes to the facilities. Operationally, the Museum proposes more restrictive and protective constraints which will serve to minimize potential impacts on neighbors. Since the Museum proposes to modify its existing permit such that any potential environmental impacts are either maintained at permitted levels or reduced, the Project cannot result in any new significant impact. The Project therefore will either maintain or reduce potential impacts to neighbors and will not have a significant impact due to the existence of any sensitive environment, scenic highway, historical resource, unusual circumstance, or any other issue. Therefore, none of the exceptions to the categorical exemptions apply.

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In consideration of the project approval granted by the City Council and for the benefit of the owner and occupants of the Real Property, the owners and occupants of adjacent real property and the public generally, the following terms and conditions are imposed on the use, possession, and enjoyment of the Real Property:

- A. Order of Development. In order to accomplish the proposed development, the following steps shall occur:
1. Obtain all additional annexation approvals. Refer to Condition B "Approval Contingent upon Annexation."
2. Obtain all required design review approvals.
3. Pay Land Development Team Recovery Fee (30% of all planning fees, as calculated by staff) at time of building permit application.
4. Record any required documents
a. Recorded Conditions Agreement (Section C.1.).
b. Dedications prior to completion of public improvements (Item E.1.b.).
c. Water Rights Assignment (E.1.c.).
d. Agreement to Construct (if required).
5. Permits.
a. Submit applications for, obtain Building Permits (BLD), and construct the soundwall/visual screen along the northeasterly portion of the parking lot and associated landscaping within one year of approval of the amended Conditional Use Permit.
b. Submit applications for and obtain Building Permits (BLD) to address the as-built garage conversion and any additions or modifications to the Western Residence that were completed without required permits.
c. Submit public improvement plans for all required public improvements, an engineer's estimate of public improvements and application with fees for a Public Works Permit (PWP) and other complete said improvements or enter into an Agreement to Construct and post bonds for public improvements.
d. Submit applications for and obtain a Building Permits (BLD) for construction of the remainder of the approved development and complete said development.

Details on implementation of these steps are provided throughout the conditions of approval.

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- B. Approval Contingent upon Annexation. Approval of the project elements related to the Western Parcels is contingent upon approval of the General Plan Map and Zoning Map Amendments by the City Council and approval of the Annexation of the Western Parcels by the Local Agency Formation Commission and completion of that annexation.
C. Recorded Conditions Agreement. The Owner shall execute a written instrument, which shall be prepared by Planning staff, reviewed as to form and content by the City Attorney, Community Development Director and Public Works Director, recorded in the Office of the County Recorder, and shall include the following:
1. Approved Development. The additional development of the Real Property approved by the City Council on March 24, 2015, in addition to the existing development shown on the site plan submitted by the Applicant in Sheet A1.11, is limited to the following improvements: improved pedestrian accessibility and Americans with Disabilities Act (ADA) improvements; renovations to the Marine/Paleontology/Geology Exhibit Hall and restrooms resulting in a net decrease of 194 square feet; replacement of the butterfly exhibit; rehabilitation of Gould Hall; conversion of the 475 square-foot MacVeagh Cottage from residential use to educational non-residential use; relocation of trash and recycling; new fencing; new soundwall/visual screen along the northeasterly portion of the parking lot; as-built improvements and enhancements to existing outdoor activity areas; native habitat restoration; landscape improvements, including removal of approximately 2,800 square feet of existing asphalt; mechanical equipment upgrades; and interior repairs to existing buildings. The Master Plan results in a net increase in accessible Museum parking spaces (from 6 to 7), a net loss of Museum parking spaces overall (from 156 to 155), and an addition of four bicycle spaces (from 18 to 22). The following Assessor Parcel Numbers are subject to the terms of the Conditional Use Permit: APNs 023-272-003 and -004. Upon the completion of the proposed annexation, the following Assessor Parcel Numbers shall also be subject to the Conditional Use Permit: APNs 023-250-039, -056, -066, and -068 (hereinafter referred to as the Western Parcels). Existing development on the Western Parcels includes a single family residence. The project includes maintenance of the existing uses of the Western Parcels which consist of the use of the single family residence, passive recreation including public use of the trail network, and Museum educational activities. The project includes the improvements shown on the plans signed by the chairperson of the Planning Commission on said date and on file at the City of Santa Barbara.

- 2. Operational Conditions. The following conditions apply to the overall operations of the Museum and the use of the site:
a. Allowed Uses. The following non-residential uses are allowed on the subject property:
(1) General Museum & Educational Use. Research; collections maintenance; adult classes; children's camps; docent trainings; attendance by visitors and museum members to exhibits; Board of Trustees, Committee and volunteer meetings; appointments with staff by vendors and members of the public; attendance by school groups, children's classes, children's camps, evening films and lectures; special planetarium shows and evening star parties, SBCC and UCSB classes; and visitation

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- by researchers and persons by appointment, including professional symposia or similar gatherings.
(2) Community Uses. Meetings; town hall discussions; memorials; wedding ceremonies; weddings with receptions; fund-raising events; and lectures or similar activities organized by community groups other than the Museum.
(3) High-Attendance Events. Museum-sponsored gatherings often held on weekends, which are not part of regularly scheduled or routine operations. Currently these include the Wine Festival (June), The Museum League Art Walk (September), the Tribal and Folk Art Marketplace (December), and an additional event associated with a specific exhibition or program offering (e.g. the TinkerToy Family Festival held in summer 2013).
b. Annual Attendance and Maximum Capacity.
(1) The maximum annual attendance including general admissions, members, volunteers, education programs, research programs, outside group use, special events, and weddings and memorials shall be monitored by the Museum and shall not exceed 165,547 people.
(2) The maximum number of people allowed on-site at any one time shall not exceed 1,400 and shall be monitored by the Museum staff at Museum entrance and exit.
c. Special Event Limitations.
(1) High Attendance events shall not exceed a total of four (4) events, seven (7) days (not including two (2) days with invitation-only receptions associated with the High-Attendance Event), and 11,588 attendees per year.
(2) The Museum shall continue to coordinate scheduling of high attendance events with the Santa Barbara Women's Club and the Santa Barbara Botanic Gardens to minimize traffic, parking, and fire evacuation issues.
(3) If a High Attendance Event is anticipated to potentially exceed the on-site parking supply, the procedures for addressing parking and transportation during special events in the Museum's Traffic and Parking Procedures shall be implemented as appropriate.
(4) Wedding receptions shall be scheduled for Saturdays only and shall not exceed 15 per calendar year.
(5) Wedding reception attendance shall not exceed 175 guests per wedding.
(6) Amplified music shall be limited to the Fleishman Auditorium for wedding receptions and shall commence no earlier than 4:30 p.m.
(7) The only outdoor amplified sound permitted associated with events is amplification of voices of wedding ceremony participants so wedding guests can hear the ceremony.

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- (8) An additional non-Museum staff security officer shall be present for the duration of all wedding receptions to help ensure that event guests comply with Museum policies and requirements.
(9) Town hall discussions; memorials; wedding ceremonies; wedding receptions; fundraising events; and lectures or similar activities organized by community groups other than the Museum shall end no later than 9:30 p.m. and guests shall vacate the site by 10:00 p.m. Monthly astronomical unit star gazing and weekday college astronomy classes shall end no later than 10:30 p.m. and all participants shall vacate the site by 11:00 p.m. All other evening events shall end no later than 10:00 p.m. and all guests shall vacate the site by 10:30 p.m.
(10) Outdoor post-event clean-up activities south of the creek are limited to the period between 8:30 a.m. and 7:00 p.m.; post-event clean-up activities outside the Fleishman Auditorium are limited to the period between 8:30 a.m. and 10:00 p.m.
(11) Event guests shall not loiter in the parking lot or in front of the Museum.
d. General Operations.
(1) Amplified music is prohibited outdoors.
(2) All music must be stopped by 9:30 p.m. each day.
(3) The use of the exterior speaker system for public address announcements is limited to the hours between 8:00 a.m. and 8:30 p.m. except for announcements necessary for public safety.
(4) The exterior speaker system for public address announcements must be maintained such that noise from the exterior speaker system does not exceed ambient exterior noise levels by more than 2 dBA at any property boundary where the property adjacent to the Museum is developed with a residential use, except for emergency announcements. The Museum shall comply with any City Planning Division staff request to test the exterior speaker system to ensure compliance with this condition.
(5) Public gatherings and picnicking are prohibited in the parking lot.
(6) Regular Museum admission hours are between 10:00 a.m. and 5:00 p.m., seven days a week. Special activities and programs may occur outside these hours.
(7) The parking lot shall be locked and access to the parking lot shall be limited after 11:00 p.m. and before 6:45 a.m., seven days a week.
(8) The use of chainsaws, skip loaders and other noisy equipment is prohibited before 9:00 a.m., seven days a week.
(9) The use of leaf blowers is prohibited before 9:00 a.m. and after 5:00 p.m. Monday through Saturday and any time on Sundays and national holidays.

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- (10) There shall be no storage of any materials, trailers, landscape trimmings, construction debris, temporary structures, refuse bins, or vehicles, of any kind on the Las Encinas Road easement.
(11) No recreational vehicles, boats, or trailers shall be stored on the project site.
(12) No animal carcass preparation or decomposition activities, or burial, shall be permitted on the project site.
(13) The Museum shall implement the following:
a. Procedures and Requirements for Emergency Response as approved by the Museum President June 22, 2014 and on file at the City.
b. Procedures and Requirements for Traffic and Parking Management approved by the Museum President on November 25, 2014 and on file at the City.
c. Procedures and Requirements for Events approved by the Museum President on December 1, 2014 and on file at the City.

Any proposed changes to these documents shall be reviewed by City Staff for consideration of substantial conformance.

- e. Reporting.
(1) Submit to City Staff an annual report of monthly attendance data of the three categories of use allowed and defined under this CUP:
a. General Museum and Educational Uses
b. Community Uses, including the number of weddings with receptions and the number of attendees at weddings with receptions.
c. High Attendance Events, identifying the number of these events, attendance at each, and statistics on use of off-site parking.
(2) Maintain and submit to City Staff upon request all complaints submitted to the Museum and the Museum's responses to complaints.

3. Public Access. The Museum shall continue to provide free public access to the trail network on the western portion of the Museum property, excluding the paths within the fenced fee area. The free public access trail network is illustrated in the plans on file as required by Condition E.2.c.

4. Development Rights Restrictions. Other than the improvements shown on the approved plans and improvements within the building envelope, the Owner shall not develop the portion of the Real Property labeled "Native Woodland Gardens" on Sheet L0.1. Tree protection and replacement shall be consistent with the Watershed Environmental, Inc. report dated March 6, 2014. The Museum shall continue to be responsible for

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maintenance of the restricted area, and compliance with orders of the Fire Department. Any brush clearance shall be performed without the use of earth moving equipment.

Other than elements of the subject project and proposals within the building envelope shown on Sheet L0.1, future development proposals within the restricted area shall be subject to following Mission Canyon Community Plan Development Standards as they exist at the time of the Planning Commission approval of the Conditional Use Permit, in addition to applicable City policies:

- DevStd BIO-MC-3.3 Development shall be required to include the following Environmentally Sensitive Habitat (ESH) buffer areas:
• Creeks and streams, including steelhead critical habitat streams--50 feet as measured from the geologic top of creek bank.
• Central and Southern Coast Live Oak Riparian Forest and Woodland, Coast Live Oak/Oak Riparian Woodland, California Sycamore Riparian Forest, and Central Coast Arroyo Riparian Forest--50 feet from edge of canopy.
• Coast Live Oak Woodland and Forest--25 feet from edge of canopy.
• Habitats containing Nuttall's scrub oak or other special status animal or plant species or rare natural communities--25 feet minimum, full extent to be determined on a case-by-case basis.
• Wetland Habitats--50 feet from edge of wetland habitat.
• Buffer areas from other types of ESH shall be determined on a case-by-case basis.

These buffers areas may be adjusted upward or downward on a case-by-case basis given site-specific conditions, such as slopes, biological resources, and erosion potential, as evaluated and determined by the City.

DevStd BIO-MC-3.4: Where development cannot be sited to avoid ESH, development in ESH and ESH buffer areas shall be designed and carried out in a manner that protects the sensitive habitat areas to the maximum extent feasible.

DevStd BIO-MC-8.2: The stream or creek buffer area shall be indicated on all site and grading plans. All ground disturbance and native vegetation removal shall be minimized in the buffer area to the maximum extent feasible.

- 5. Uninterrupted Water Flow. The Owner shall allow for the continuation of any historic flow of water onto the Real Property including, but not limited to, swales, natural watercourses, conduits and any access road, as appropriate.
6. Landscape Plan Compliance. The Owner shall comply with the Landscape Plan approved by the Historic Landmarks Commission (HLC). Such plan shall not be modified or altered without written approval is obtained from the HLC. The landscaping on the Real Property shall be provided and maintained in accordance with said landscape plan, including any tree protection measures. If said landscaping is removed for any reason without approval by the HLC, the owner is responsible for its immediate replacement.

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- 7. Storm Water Pollution Control and Drainage Systems Maintenance. Owner shall maintain the drainage system and storm water pollution control devices in a functioning state and in accordance with the Storm Water BMP Guidance Manual and Operations and Maintenance Procedure Plan approved by the Creeks Division. Should any of the project's surface or subsurface drainage structures or storm water pollution control methods fail to capture, infiltrate, and/or treat water, or result in increased erosion, the Owner shall be responsible for any necessary repairs to the system and restoration of the eroded area. Should repairs or restoration become necessary, prior to the commencement of such repair or restoration work, the Owner shall submit a repair and restoration plan to the Community Development Director to determine if an amendment or a new Building Permit is required to authorize such work. The Owner is responsible for the adequacy of any project-related drainage facilities and for the continued maintenance thereof in a manner that preclude any hazard to life, health, or damage to the Real Property or any adjoining property.

8. Pesticide or Fertilizer Usage. The use of pesticides or fertilizer shall be prohibited within any area that drains directly into Mission Creek.

- 9. Transportation Demand Management. The following alternative transportation incentives shall be implemented reduce parking demand and traffic impacts.
a. Bus Passes. The Museum shall provide MTD bus passes free of charge to employees who request them for travel to and from work. Notice of the free passes shall be provided to existing employees and new employees when they are hired.
b. Housing Priority. The Museum shall provide rental preference of the onsite residential units in the following order: (1) Museum employees, (2) persons who currently live on the South Coast or households with a member employed on the South Coast; and (3) the general public.
c. Guaranteed Ride Home. In the event of an emergency or work requirement that interferes with the normal alternative transportation arrangements of any employee, the Museum shall guarantee a free ride home.
d. Flexible Work Hours. The Museum shall encourage staggered or flexible work hours that allow staff to arrive and depart at times which are outside the morning and afternoon peak traffic hours as established by the City of Santa Barbara (currently Monday through Friday 7-9 a.m. and 4-6 p.m.).
e. Bicycle Parking. A total of 22 bicycle parking spaces are to be provided on-site, including at least four covered bicycle parking spaces for employees only. Final rack locations and types of racks shall be approved by City Transportation staff and Historic Landmarks Commission.



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Dwight Gregory
C-16,250
1-31-17
RENEWAL DATE



PROJECT:

PARTIAL DEMOLITION AND REMODEL AT: WESTERN RESIDENCE SANTA BARBARA MUSEUM OF NATURAL HISTORY
2559 PUESTA DEL SOL SANTA BARBARA, CA 93105

2758 LAS ENCINAS LANE WESTERN RESIDENCE

SHEET TITLE: CITY COUNCIL RESOLUTION & CONDITIONS OF APPROVAL

DATE: 6/24/15
SCALE: AS SHOWN

REVISIONS

FILE NO.: 2758WR

SHEET:

A1.1

DRAWN BY: DG
DATE: 7/25/16

- D. **Design Review.** The project, including public improvements, is subject to the review and approval of the Historic Landmarks Commission (HLC). The HLC shall not grant project design approval until the following Planning Commission land use conditions have been satisfied.
- Historic Structures Report.** All project features described in the Historic Structures and Sites Report(s) accepted by Historic Landmarks Commission shall be implemented to the satisfaction of the City Urban Historian.
  - Tree Protection and Replacement.** Include a note on the plans that the tree protection and replacement project components included in the Watershed Environmental, Inc. report dated March 6, 2014, shall be implemented. All trees not indicated for removal on the approved landscape plan shall be preserved, protected, and maintained.
  - Landscape Plan.** Identify on the Landscape Plan the portion of the Real Property outside of the Las Encinas Road easement designated as "Proposed Restoration/Enhancement Area" on the Exhibit labeled "Revised Figure 7 Woodland Habitat Restoration/Enhancement Area" in the Biological Assessment prepared by Watershed Environmental, Inc., dated July 10, 2014, so that those portions of the Real Property remain in their natural state.
  - Public Improvements.** General Plan Implementation Actions HR6.1, HR6.2, and HR6.3 shall be considered in the review of proposed public improvements on Puesta del Sol.
  - Exterior Lighting.** All new exterior lighting shall conform with Municipal Code Chapter 22.75 and shall be shielded and directed away from the tree canopy, the creek bed, creek banks, and undisturbed woodland habitat.
  - Parking Lot Screening.** A soundwall/visual screen shall be provided to buffer the adjacent residences along Las Encinas Road at the location shown on Sheet L3.0.
  - Bus Loading/Unloading.** The Museum shall designate a bus loading/unloading area near the Museum entrance.
  - Screened Backflow Device.** All new backflow devices for fire sprinklers and/or irrigation systems shall be provided in a location screened from public view or included in the exterior wall of the building, as approved by the HLC.
  - Trash Enclosure Provision.** A trash enclosure with adequate area for recycling containers (an area that allows for a minimum of 50 percent of the total capacity for recycling containers) shall be provided on the Real Property and screened from view from surrounding properties and the street.

- E. **Requirements Prior to Permit Issuance.** The Owner shall submit the following, or evidence of completion of the following, for review and approval by the Department listed below prior to the issuance of any permit for the project other than building permits for the soundwall/visual screen and required alterations to the Western Residence. Some of these conditions may be waived for demolition or rough grading permits, at the discretion of the department listed. Please note that these conditions are in addition to the standard submittal requirements for each department.
- Public Works Department.**
    - Approved Public Improvement Plans.** Public Improvement Plans as identified in condition E.1.d "Public Improvements" shall be submitted to the Public Works Department for review and approval. Upon acceptance of completed public improvement plans, a Building permit may be issued if the Owner has bonded for public improvements and executed the *Agreement to Construct and Install Improvements (Not a Subdivision)*.
    - Dedication.** Owner shall submit an application and fees to the City Public Works Department for the following dedications and shall complete dedication prior to acceptance of public improvements.
      - Owner shall grant an easement for right of way purposes to the City of Santa Barbara northeast of the face of the existing historic wall on APN 023-271-004 at the intersection of Puesta Del Sol and Mission Canyon Road.
      - Owner shall dedicate to the City of Santa Barbara a new onsite ten-foot-wide sewer easement centered over the actual sewer main with right of access and reservation to the owner to continue use of a butterfly exhibit at the existing location over the sewer main.
    - Water Rights Assignment Agreement.** The Owner shall assign to the City of Santa Barbara the exclusive right to extract ground water from under the Real Property in an *Agreement Assigning Water Extraction Rights*. Engineering Division Staff prepares said agreement for the Owner's signature.
    - Public Improvements.** The Owner shall submit C-1 public improvement or Public Works plans for construction of improvements along the property frontage on Puesta del Sol. Plans for public improvements shall be prepared by a licensed civil engineer registered in the State of California and shall be submitted prior to or concurrent with (but separately from) plans submitted for a Building Permit. As determined by the Public Works Department, the improvements shall include the following:
      - Installation of frontage improvements along Puesta del Sol from the western extent of the sandstone wall on Puesta del Sol to the driveway entrance of the Carriage House. An in-lieu fee shall be provided to fund the remaining Puesta del Sol frontage improvements. The improvements shall include a minimum of six-foot wide pathway, and minimum of four-foot wide parkway.

- Design of all frontage improvements shall be designed to protect existing trees located at the property frontage in the street as required by the Urban Forest Superintendent.
- The frontage improvements shall include the installation of one or two new City Standard Dome Style street lights. The locations shall be as approved and modified by the City Engineer. The lighting changes on Puesta Del Sol will be either to install one 20 Type B City Standard street light or two 14 Type A City Standard pedestrian lights. The existing SCE cobra-head shall be removed.
  - The entire width of Puesta Del Sol along the Museum frontage shall be slurry sealed and striped.
- In-lieu Fee for Sidewalk.** The Owner shall pay \$7,000 of in-lieu fees for the future construction of the remaining pathway frontage improvements on the easterly end of Puesta del Sol.
- Construction-Related Truck Trips.** Construction-related truck trips for trucks with a gross vehicle weight rating of three tons or more shall not be scheduled during peak hours (7:00 a.m. to 9:00 a.m. and 4:00 p.m. to 6:00 p.m.) in order to help reduce truck traffic on adjacent streets and roadways.
- Agreement to Construct and Install Improvements.** Prior to building permit issuance, the Owner shall either complete public improvements or submit preliminary plans for the required public improvement with engineers estimate, securities for construction and execute an *Agreement to Construct*.
- Encroachment Permits.** Any encroachment or other permits from the City or other jurisdictions (State, Federal, County, etc.) for the construction of improvements (including any required appearances) within their rights of way or easements shall be obtained by the Owner.
- Community Development Department.**
  - Recordation of Agreements.** The Owner shall provide evidence of recordation of the written instrument that includes all of the Recorded Conditions identified in Condition C "Recorded Conditions Agreement" to the Community Development Department prior to issuance of any building permits.
  - Unpermitted Work.** The Building Permit scope of work shall address the as-built garage conversion and any additions or modifications to the Western Residence that were completed without required permits.
  - Trail Network.** Include a plan sheet illustrating the trail network on the western portion of the Museum property as shown within the Proposed Restoration/Enhancement Area on the exhibit labeled "Revised Figure 7 Woodland Habitat Restoration/Enhancement Area" in the Biological Assessment prepared by Watershed Environmental, Inc., dated July 10, 2014. The trail network shall be clearly labeled as public access as provided in Condition C.3.

- Arborist's Monitoring.** Submit to the Planning Division an executed contract with a qualified arborist for monitoring of construction/demolition with ground disturbance in close proximity to existing trees. The contract shall include a schedule for the arborist's presence during grading and construction activities, and is subject to the review and approval of the Planning Division.
- Contractor and Subcontractor Notification.** The Owner shall notify in writing all contractors and subcontractors of the site rules, restrictions, and Conditions of Approval. Submit a draft copy of the notice to the Planning Division for review and approval.
- Letter of Commitment for Neighborhood Notification Prior to Construction.** The Owner shall submit to the Planning Division a letter of commitment to provide the written notice specified in Condition F.1 "Neighborhood Notification Prior to Construction" below. The language of the notice and the mailing list shall be reviewed and approved by the Planning Division prior to being distributed. An affidavit signed by the person(s) who compiled the mailing list shall be submitted to the Planning Division.
- Design Review Requirements.** Plans shall show all design, landscape and tree protection elements, as approved by the appropriate design review board and as outlined in Section D "Design Review," and all elements/specifications shall be implemented on-site.
- Conditions on Plans/Signatures.** The final Resolution shall be provided on a full size drawing sheet as part of each of the drawing sets. Each condition shall have a sheet and/or note reference to verify condition compliance. If the condition relates to a document submittal, indicate the status of the submittal (e.g., Final Map submitted to Public Works Department for review). A statement shall also be placed on the sheet as follows: The undersigned have read and understand the required conditions, and agree to abide by any and all conditions which are their usual and customary responsibility to perform, and which are within their authority to perform.

Signed:

Property Owner	Date
Contractor	Date License No.
Architect	Date License No.
Engineer	Date License No.

- F. **Construction Implementation Requirements.** All of these construction requirements shall be carried out in the field by the Owner and/or Contractor for the duration of the project construction, including demolition and grading.
- Neighborhood Notification Prior to Construction.** At least twenty (20) days prior to commencement of construction, the contractor shall provide written notice to all property owners, businesses, and residents within 300 feet of the project area. The notice shall contain a description of the project, the construction schedule, including days and hours of construction, the name and phone number of the Contractor(s), site rules and Conditions of Approval pertaining to construction activities, and any additional information that will assist Building Inspectors, Police Officers and the public in addressing problems that may arise during construction.
  - Construction Contact Sign.** Immediately after Building permit issuance, signage shall be posted at the points of entry to the site that list the contractor(s) name, contractor(s) telephone number(s), construction work hours, site rules, and construction-related conditions, to assist Building Inspectors and Police Officers in the enforcement of the conditions of approval. The font size shall be a minimum of 0.5 inches in height. Said signs shall exceed six feet in height from the ground if it is free standing or posted on a fence. It shall not exceed 24 square feet if in a multi-family or commercial zone or six square feet if in a single family zone.
  - Construction Hours.** Construction (including preparation for construction work) shall only be permitted Monday through Friday between the hours of 8:00 a.m. and 5:00 p.m. and Saturdays between the hours of 9:00 a.m. and 4:00 p.m. (Saturday construction is limited to non-noise-generating activities only, such as interior painting), excluding the following holidays:
 

New Year's Day	January 1st*
Martin Luther King, Jr. Day	3rd Monday in January
Presidents' Day	3rd Monday in February
Memorial Day	Last Monday in May
Independence Day	July 4th*
Labor Day	1st Monday in September
Thanksgiving Day	4th Thursday in November
Following Thanksgiving Day	Friday following Thanksgiving Day
Christmas Day	December 25th*

 \*When a holiday falls on a Saturday or Sunday, the preceding Friday or following Monday, respectively, shall be observed as a legal holiday.
- When, based on required construction type or other appropriate reasons, it is necessary to do work outside the allowed construction hours, contractor shall contact the City to request a waiver from the above construction hours, using the procedure outlined in Santa Barbara Municipal Code 99.10.015 Construction Work at Night. Contractor shall notify all residents within 300 feet of the parcel of intent to carry out said construction a minimum of 48 hours prior to said construction. Said notification shall include what the work includes, the reason for the work, the duration of the proposed work and a contact number.

- Project Site Rules.** No radios, music playback equipment, musical instruments, recreational drugs, or alcohol shall be used by workers while on the project site.
- Early Arrivals.** If construction workers arrive at the project site before 8:00 a.m. Monday through Friday or before 9:00 a.m. Saturday, they shall remain in the area of actual construction, and away from any neighbors' property lines.
- Construction Storage/Staging.** Construction vehicle/ equipment/ materials storage and staging shall be done on-site. Materials storage and construction worker parking shall be prohibited on the northern section of the parking lot along and adjacent to the Las Encinas Road easement. The "northern" section of the parking lot is defined to include all spaces north of the large landscaped island in the parking lot. No parking or storage shall be permitted within the public right-of-way, unless specifically permitted by the Public Works Director with a Public Works permit.
- Noise Control.** All construction equipment used on the site, including trucks, shall be professionally maintained and fitted with standard manufacturers' muffler and site activity silencing devices. Sound control devices and techniques, such as noise shields and blankets, shall be employed as needed to reduce the level of noise of all project development activity to surrounding residents consistent with the requirements of SBMC Section 9.16.025.C.
- Portable and Stationary Equipment.** When portable or stationary equipment, such as, but not limited to generators, air compressors and wood sawing stations are required on the project site, the equipment shall be located as far from the project boundaries and residences (other than those owned by the Museum) as possible. If it is necessary to locate portable/stationary equipment within 200 feet of the project perimeter, methods to provide noise shielding for that equipment shall be implemented. This may include but is not limited to providing a two or three sided enclosure which is lined with a sound absorbing material between the equipment and the property line, or locating the equipment so that noise shielding is provided by existing or new structures located on the project site consistent with the requirements of SBMC 9.16.025.C.
- Noise Complaints and Resolution.** Include on relevant signage a Museum-designated representative's telephone number to address noise complaints. The Museum will include construction related complaints and methods of resolution in its annual reporting to the City. In response to verified complaints the City may require the applicant to implement a noise monitoring program. The noise monitoring program shall be designed and conducted to ensure that appropriate noise reduction and control measures are identified and implemented so that construction related noise levels at the property lines of sensitive receptors (residents) adjacent to the project site are consistent with the requirements of SBMC Section 9.16.025.C.
- Nesting Birds.** Birds and their eggs nesting on or near the project site are protected under the Migratory Bird Treaty Act and pursuing, hunting, taking, capturing, killing, or attempt to do any of the above is a violation of federal and state regulations. Tree removal/relocation/trimming activities shall not occur during nesting season (March 1 – July 1). If these activities must occur during this time, a qualified biologist shall conduct surveys to identify, no more than one week prior to the activity, active nests and nest

- holes. The biologist shall map the location of all active and inactive nests and nest holes in trees. A 300-foot radius, no-disturbance buffer shall be established around trees containing active nests and this buffer shall be maintained until the biologist has verified that young fledglings have left the nest.
- Storm Water Pollution Prevention.** A Storm Water Pollution Prevention Plan with appropriate erosion/sediment control devices will be implemented between the construction area and Mission Creek. An erosion and sediment control plan that satisfies City of Santa Barbara requirements will be prepared and included in the construction drawings of each project component. Prior to the start of any demolition or construction activity within 100 feet of the topographic top of the creek bank, the perimeter of the work area shall be fenced and sediment and erosion control materials shall be installed to prevent demolition debris, soil, sediment, and other contaminants from falling or washing down into Mission Creek.
  - Air Quality and Dust Control.** The following measures shall be shown on grading and building plans and shall be adhered to throughout grading, hauling, and construction activities:
    - During construction, use water trucks or sprinkler systems to keep all areas of vehicle movement damp enough to prevent dust from leaving the site. At a minimum, this should include wetting down such areas in the late morning and after work is completed for the day. Increased watering frequency should be required whenever the wind speed exceeds 15 mph. Reclaimed water should be used whenever possible. However, reclaimed water should not be used in or around crops for human consumption.
    - Minimize amount of disturbed area and reduce on site vehicle speeds to 15 miles per hour or less.
    - If importation, exportation and stockpiling of fill material is involved, soil stockpiled for more than two days shall be covered, kept moist, or treated with soil binders to prevent dust generation. Trucks transporting fill material to and from the site shall be tarped from the point of origin.
    - Gravel pads shall be installed at all access points to prevent tracking of mud onto public roads.
    - After clearing, grading, earth moving or excavation is completed, treat the disturbed area by watering, or revegetating, or by spreading soil binders until the area is paved or otherwise developed so that dust generation will not occur.
    - The contractor or builder shall designate a person or persons to monitor the dust control program and to order increased watering, as necessary, to prevent transport of dust offsite. Their duties shall include holiday and weekend periods when work may not be in progress. The name and telephone number of such persons shall be provided to the Air Pollution Control District prior to land use clearance for map recordation and land use clearance for finish grading of the structure.

- All portable diesel-powered construction equipment shall be registered with the state's portable equipment registration program OR shall obtain an APCD permit.
  - Fleet owners of mobile construction equipment are subject to the California Air Resource Board (CARB) Regulation for In-use Off-road Diesel Vehicles (Title 13 California Code of Regulations, Chapter 9, § 2449), the purpose of which is to reduce diesel particulate matter (PM) and criteria pollutant emissions from in-use (existing) off-road diesel-fueled vehicles. For more information, please refer to the CARB website at [www.arb.ca.gov/mropg/indiesel/indiesel.htm](http://www.arb.ca.gov/mropg/indiesel/indiesel.htm).
  - All commercial diesel vehicles are subject to Title 13, § 2485 of the California Code of Regulations, limiting engine idling time. Idling of heavy-duty diesel construction equipment and trucks during loading and unloading shall be limited to five minutes; electric auxiliary power units should be used whenever possible.
  - Unanticipated Archaeological Resources Contractor Notification.** Standard discovery measures shall be implemented per the City Master Environmental Assessment throughout grading and construction. Prior to the start of any vegetation or paving removal, demolition, trenching or grading, contractors and construction personnel shall be alerted to the possibility of uncovering unanticipated subsurface archaeological features or artifacts. If such archaeological resources are encountered or suspected, work shall be halted immediately, the City Environmental Analyst shall be notified and the Owner shall retain an archaeologist from the most current City Qualified Archaeologists List. The latter shall be employed to assess the nature, extent and significance of any discoveries and to develop appropriate management recommendations for archaeological resource treatment, which may include, but are not limited to, redirection of grading and/or excavation activities, consultation and/or monitoring with a Barbareño Chumash representative from the most current City qualified Barbareño Chumash Site Monitors List, etc.
- If the discovery consists of possible human remains, the Santa Barbara County Coroner shall be contacted immediately. If the Coroner determines that the remains are Native American, the Coroner shall contact the California Native American Heritage Commission. A Barbareño Chumash representative from the most current City Qualified Barbareño Chumash Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Environmental Analyst grants authorization.
- If the discovery consists of possible prehistoric or Native American artifacts or materials, a Barbareño Chumash representative from the most current City Qualified Barbareño Chumash Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Environmental Analyst grants authorization.
- A final report on the results of the archaeological monitoring shall be submitted by the City-approved archaeologist to the Environmental Analyst within 180 days of completion of the monitoring and prior to any certificate of occupancy for the project.

- Prior to Certificate of Occupancy.** Prior to issuance of the Certificate of Occupancy, the Owner of the Real Property shall complete the following:
    - Repair Damaged Public Improvements.** Repair any public improvements (curbs, gutters, sidewalks, roadways, etc.) or property damaged by construction subject to the review and approval of the Public Works Department per SBMC §22.60. Where tree roots are the cause of the damage, the roots shall be pruned under the direction of a qualified arborist.
    - Complete Public Improvements.** For the phase of the project that includes public improvements, those improvements as shown in the public improvement plans or building plans, shall be completed.
    - Noise Measurements.** For the phase of the project that includes the exterior speaker system, compliance with Condition C.2.d(4) shall be verified before the exterior speaker system is put into regular operation. Verification of compliance shall occur in the following manner:
      - Upon installation of the exterior speaker system, and prior to initiation of their use for Museum purposes, the Museum shall schedule a test of the speakers. The Museum shall provide at least fourteen (14) days prior written notice of the date and time of the test to the owners and residents of any property adjacent to the Museum property that is developed with a residential use.
      - If the test demonstrates that use of the exterior speaker system does not exceed the ambient noise level by more than 2dBA at any property boundary where the property adjacent to the Museum is developed with a residential use, the Museum shall submit a final report from a licensed acoustical engineer describing the design and operational parameters of the exterior speaker system and verifying that the sound produced by the exterior speaker system does not exceed ambient exterior noise levels by more than 2 dBA at any property boundary where the property adjacent to the Museum is developed with a residential use.
- If the test demonstrates that use of the exterior speaker system exceeds the ambient noise level by more than 2dBA at any property boundary where the property adjacent to the Museum is developed with a residential use, the Museum shall not initiate the use of the exterior speaker system for announcements. Instead, the Museum's noise specialist shall recommend additional measures to limit the noise level associated with the use of the exterior speaker system subject to the review and approval of the Building and Safety Division. Such additional measures may include volume reduction, relocation, reorientation, or removal of speakers(s).
- Once the additional measures are approved by the Building and Safety Division, the Museum shall schedule another test of the speakers. The Museum shall provide at least fourteen (14) days prior written notice of the date and time of the

- test to the owners and residents of any property adjacent to the Museum property that is developed with a residential use.
- If the additional test demonstrates that use of the exterior speaker system does not exceed the ambient noise level by more than 2dBA at any property boundary where the property adjacent to the Museum is developed with a residential use, the Museum shall submit a final report from a licensed acoustical engineer describing the design and operational parameters of the exterior speaker system and verifying that the sound produced by the exterior speaker system does not exceed ambient exterior noise levels by more than 2 dBA at any property boundary where the property adjacent to the Museum is developed with a residential use.
- If the additional test demonstrates that the use of the exterior speaker system, including the implementation of the additional mitigation measures, continues to exceed the ambient noise level by more than 2dBA at any property boundary where the property adjacent to the Museum is developed with a residential use, the Museum shall limit the use of the exterior speaker system to public safety emergency announcements.

H. **General Conditions.**

- Prior Conditions.** These conditions shall supersede the conditions identified in Planning Commission Resolutions 33-1979, 10-1980, 002-89, 025-91, 054-92 and Substantial Conformance Determinations dated April 9, 2007, September 16, 2008, and November 12, 2009.
- Compliance with Requirements.** All requirements of the city of Santa Barbara and any other applicable requirements of any law or agency of the State and/or any government entity or District shall be met. This includes, but is not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.), the 1979 Air Quality Attainment Plan, and the California Code of Regulations.
- Approval Limitations.**
  - The conditions of this approval supersede all conflicting notations, specifications, dimensions, and the like which may be shown on submitted plans.
  - All buildings, roadways, parking areas and other features shall be located substantially as shown on the plans approved by the Planning Commission.
  - Any deviations from the project description, approved plans or conditions must be reviewed and approved by the City, in accordance with the Planning Commission Guidelines. Deviations may require changes to the permit and/or further environmental review. Deviations without the above-described approval will constitute a violation of permit approval.

- Litigation Indemnification Agreement.** In the event the Planning Commission approval of the Project is appealed to the City Council, Applicant/Owner hereby agrees to defend the City, its officers, employees, agents, consultants and independent contractors ("City's Agents") from any third party legal challenge to the City Council's denial of the appeal and approval of the Project, including, but not limited to, challenges filed pursuant to the California Environmental Quality Act (collectively "Claims"). Applicant/Owner further agrees to indemnify and hold harmless the City and the City's Agents from any award of attorney fees or court costs made in connection with any Claim.
- Applicant/Owner shall execute a written agreement, in a form approved by the City Attorney, evidencing the foregoing commitments of defense and indemnification within thirty (30) days of being notified of a lawsuit regarding the Project. These commitments of defense and indemnification are material conditions of the approval of the Project. If Applicant/Owner fails to execute the required defense and indemnification agreement within the time allotted, the Project approval shall become null and void absent subsequent acceptance of the agreement by the City, which acceptance shall be within the City's sole and absolute discretion. Nothing contained in this condition shall prevent the City or the City's Agents from independently defending any Claim. If the City or the City's Agents decide to independently defend a Claim, the City and the City's Agents shall bear their own attorney fees, expenses, and costs of that independent defense.



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**PROJECT:**  
PARTIAL DEMOLITION AND REMODEL AT: WESTERN RESIDENCE SANTA BARBARA MUSEUM OF NATURAL HISTORY 2559 PUESTA DEL SOL SANTA BARBARA, CA 93105

**2758 LAS ENCINAS LANE WESTERN RESIDENCE**

**SHEET TITLE:**  
CITY COUNCIL RESOLUTION & CONDITIONS OF APPROVAL  
DATE: 6/24/15  
SCALE: AS SHOWN

REVISIONS

FILE NO.: **2758WR**  
SHEET:

**A1.2**



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**PROJECT:**  
PARTIAL DEMOLITION AND REMODEL AT:  
WESTERN RESIDENCE  
SANTA BARBARA MUSEUM OF NATURAL HISTORY  
2559 PUESTA DEL SOL  
SANTA BARBARA, CA 93105

**2758 LAS ENCINAS LANE  
WESTERN RESIDENCE**

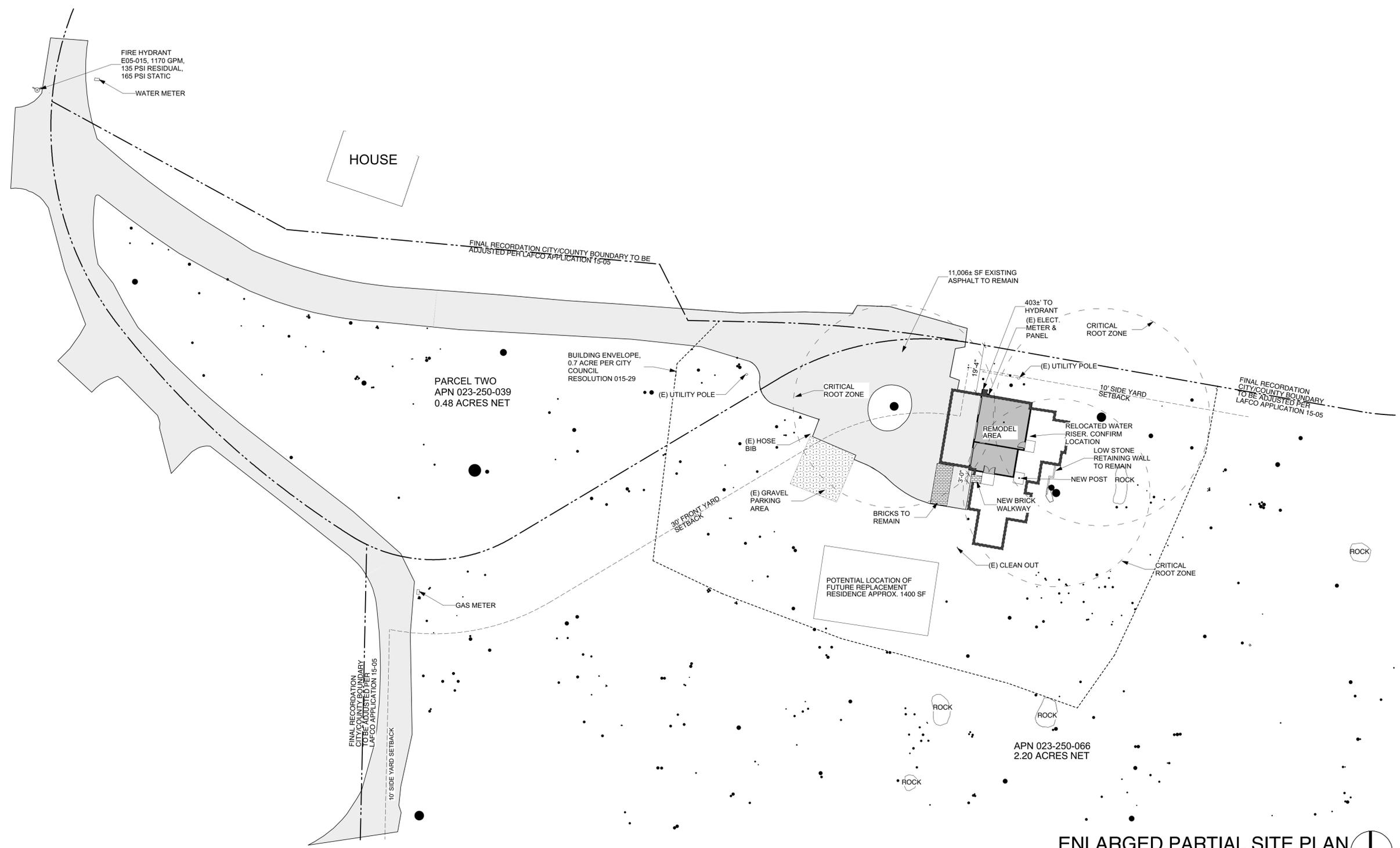
**SHEET TITLE:**  
PARTIAL SITE PLAN

DATE: 6/24/15  
SCALE: AS SHOWN  
REVISIONS:

FILE NO.: **2758WR**  
SHEET:

**A2**

DRAWN BY: DG  
PLOT DATE: 7/25/16

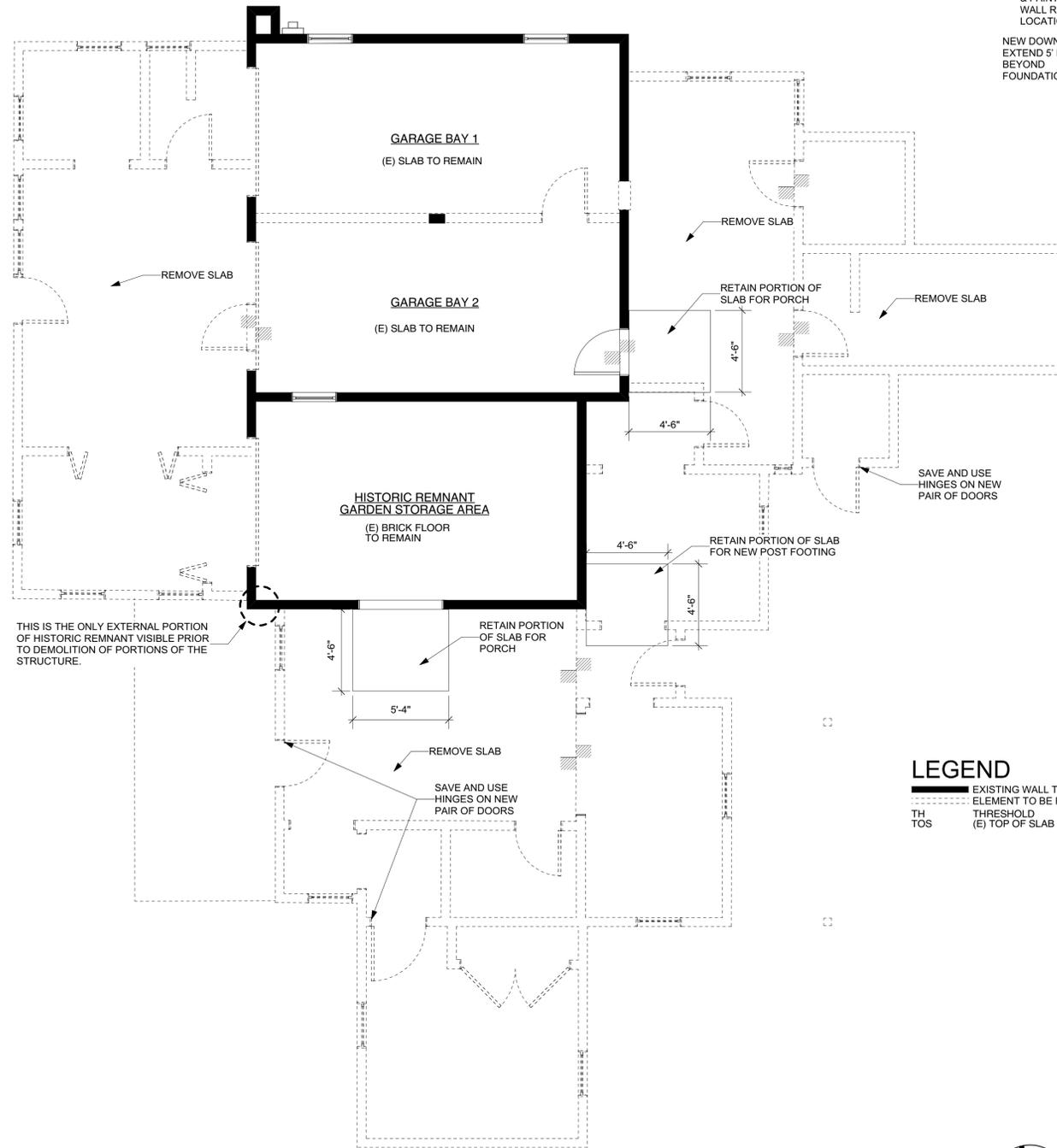


**ENLARGED PARTIAL SITE PLAN**  
NOT TO SCALE

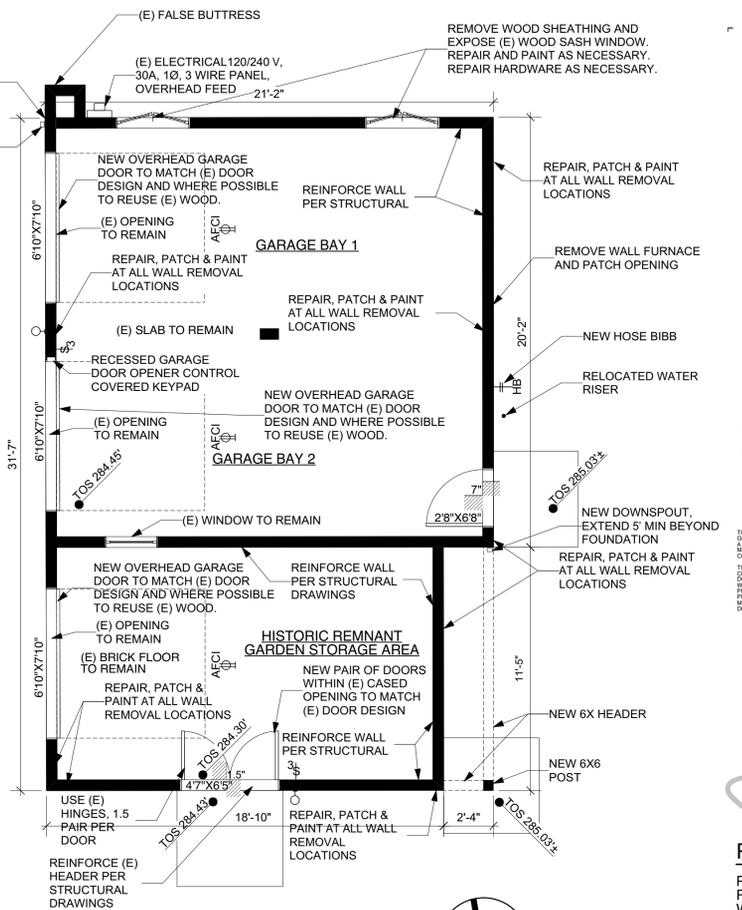
**NOTE:**  
CITY OF SANTA BARBARA ZONING AND GENERAL PLAN DESIGNATIONS TO BE FINALIZED UPON RECORDATION OF LAFCO REORGANIZATION MAP OF THE CITY/COUNTY BOUNDARY

# GENERAL NOTES

- DO NOT SCALE DRAWINGS—IMMEDIATELY CONTACT OWNER WHEN IN NEED OF CLARIFICATION.
- THIS PROJECT SHALL COMPLY WITH THE 2013 CBC, 2013 CFG, 2013 CMC, 2013 CPC, 2013 CEC, 2013 CA ENERGY CODE & ALL AMENDMENTS ADOPTED BY SB CITY ORD. 5651.
- TRASH AND OTHER CONSTRUCTION RELATED WASTES MAY NOT BE DEPOSITED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS MUST BE MADE TO RETAIN THESE WASTES ONSITE UNTIL THEY CAN BE DISPOSED OF PROPERLY.
- THE PROPOSED IMPROVEMENTS ARE ON A STRUCTURE THAT IS NOT IN THE FLOODWAY.
- USE ONLY NO VOC PAINTS, SEALANTS, STAINS & ADHESIVES.
- MAINTAIN (E) FLOW LINES AND RUNOFF.
- MAINTAIN DUST AND EROSION CONTROL DURING CONSTRUCTION.
- CONFIRM OPERABLE SMOKE AND CARBON MONOXIDE DETECTORS WHERE REQUIRED.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS PRIOR TO BID. CONTRACTOR SHALL TAKE ALL VISIBLE CONDITIONS INTO ACCOUNT IN ITS BID PROPOSAL. CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS IN FIELD PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY AMBIGUITIES OR INCONSISTENCIES IN THE DRAWINGS, OR ANY PROPOSED CHANGES PRIOR TO STARTING WORK. THE CONTRACTOR SHALL NOT PROCEED UNTIL RECEIVING CLARIFICATION OR INSTRUCTIONS FROM THE OWNER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ALL TEMPORARY BRACING AND SHORING TO ENSURE THE SAFETY OF THE WORK UNTIL IT IS IN ITS COMPLETED FORM.
- IN THE EVENT OF DISCREPANCIES BETWEEN ANY DRAWINGS AND/OR SPECIFICATIONS, THE COSTLIER OR MORE RESTRICTIVE CONDITION SHALL BE DEEMED THE CONTRACT REQUIREMENT, UNLESS OTHERWISE STATED IN WRITING FROM THE OWNER.
- ON-SITE VERIFICATION OF ALL (E) DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUB-CONTRACTOR. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND DETAILS. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. WHERE THERE IS NO DIMENSION OR WHERE THERE IS A DIMENSIONAL DISAGREEMENT, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN CLARIFICATION FROM THE OWNER AND TO NOTIFY THE OWNER IMMEDIATELY OF ANY DISCREPANCIES FOUND.
- THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ALL ACCUMULATIONS OF WASTE MATERIAL OR RUBBISH CAUSED BY ITS EMPLOYEES AND, AT THE COMPLETION OF THE WORK, SHALL REMOVE ALL RUBBISH, DEBRIS, EQUIPMENT AND SURPLUS MATERIALS BELONGING TO IT FROM IN AND ABOUT THE BUILDING, AND LEAVE WORK SITE "BROOM CLEAN". UNDISTURBED AREAS OF THE PROJECT ARE TO BE PROTECTED FROM WEATHER, DIRT AND DUST. THE CONTRACTOR SHALL RECYCLE MATERIALS TO THE GREATEST EXTENT POSSIBLE.
- WHERE NOT OTHERWISE SPECIFIED, NEW WORK SHALL MATCH EXISTING AS CLOSELY AS POSSIBLE AND AS ALLOWED BY LAW, CODES AND ORDINANCES.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND INSTALLATIONS, UNLESS OTHERWISE NOTED IN THE DRAWINGS AND SPECIFICATIONS, EVEN IF NOT SPECIFICALLY SHOWN, FOR A COMPLETE, WATERTIGHT, FIRST-CLASS PROJECT.
- THE CONTRACTOR SHALL PROTECT WORK AND ALL ADJACENT BUILDINGS AND PROPERTIES FROM DAMAGE, WEATHER AND THEFT. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING CONSTRUCTION, NEW WORK OR LANDSCAPING DAMAGED BY IT OR ITS SUBCONTRACTORS IN OR BEYOND THE AREA OF WORK.
- THE CONTRACTOR SHALL REMEDY ANY FAULTY OR INFERIOR MATERIALS OR WORKMANSHIP OR ANY DAMAGES RESULTING THEREFROM, AT ITS EXPENSE, FOR A PERIOD OF ONE YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK.
- THE CONTRACTOR SHALL PROVIDE A LIST OF ALL ITEMS EXCLUDED FROM THE BID, AND A LIST OF ITEMS TO BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR. THE CONTRACTOR SHALL ASSIST THE CLIENT WITH SCHEDULING AND COORDINATION OF WORK AND MATERIALS TO BE PROVIDED BY THE OWNER, SO AS NOT TO DELAY CONSTRUCTION.
- THE CONTRACTOR AND OWNER SHALL AGREE ON NORMAL WORKING HOURS AND JOB SITE PROTOCOL PRIOR TO STARTING WORK. THE CONTRACTOR IS RESPONSIBLE FOR THE WORKMANLIKE AND APPROPRIATE BEHAVIOR OF ALL ITS EMPLOYEES AND SUBCONTRACTORS.
- ALL QUESTIONS AND REQUESTS FOR INFORMATION TO THE OWNER FROM THE GENERAL CONTRACTOR SHALL BE MADE IN WRITING VIS US MAIL, FAX, OR AS AN ATTACHMENT TO AN EMAIL. ALL COMMUNICATIONS FROM SUBCONTRACTORS SHALL BE ADDRESSED THROUGH THE GENERAL CONTRACTOR. EXCEPT IN AN EMERGENCY SITUATION, PHONE CALLS WILL NOT BE ACCEPTED BY THE OWNER.
- ALL SHOP DRAWINGS AND SUBMITTALS REQUIRED BY THESE DRAWINGS AND SPECIFICATIONS SHALL BE REVIEWED AND APPROVED BY THE CONTRACTOR PRIOR TO OWNER REVIEW.
- THE CONSTRUCTION DOCUMENTS, DRAWINGS AND SPECIFICATIONS, ADDENDA, CONSTRUCTION DIRECTIVES, CHANGE ORDERS, AND OTHER WRITTEN OR ELECTRONIC DOCUMENTS ARE INCLUSIVE, MEANING THAT ALL WORK REFERENCED AND/OR SHOWN IN ANY AREA OF THE ABOVE IS INCLUDED IN THE REQUIRED WORK REGARDLESS IF NOT SHOWN, REPEATED OR CROSS-REFERENCED ELSEWHERE.
- THE CONTRACTOR SHALL MAINTAIN A RECORD SET OF DRAWINGS RECORDING ALL AS-BUILT FIELD CHANGES TO THE APPROVED SET OF PERMIT DRAWINGS. THE CONTRACTOR SHALL GIVE THE OWNER ALL MANUALS, WARRANTIES, AND LITERATURE OF INSTALLED ITEMS AT CONCLUSION AND ACCEPTANCE OF WORK (SUBSTANTIAL COMPLETION).
- THE ARCHITECT SHALL PROVIDE CONSTRUCTION OBSERVATION AS NEEDED AND AS DIRECTED BY THE OWNER. THE ARCHITECT IS NOT SUPERVISING THE CONTRACTOR NOR PROVIDING DIRECTION OR CONSTRUCTION MANAGEMENT TO ANY OF THE CONTRACTOR'S SERVICES, SCHEDULES, MEANS OR METHODS. QUESTIONS AND CLARIFICATIONS TO THE ARCHITECT SHALL BE DELIVERED IN WRITING TO THE OWNER, AND SHALL BE ASSUMED TO HAVE NO EFFECT ON COST AND A CHANGE IN THE COMPLETION DATE UNLESS EXPRESSLY STATED BY THE CONTRACTOR. THE CONTRACTOR MUST OBTAIN WRITTEN APPROVAL FROM THE OWNER OF A CHANGE ORDER BEFORE PROCEEDING WITH ITEMS OF WORK WHICH REQUIRE EXTRA COST AND A CHANGE IN THE COMPLETION DATE, REGARDLESS OF CLARIFICATIONS ISSUED BY THE ARCHITECT.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL SAFETY LAWS ARE STRICTLY ENFORCED AND TO MAINTAIN A SAFE CONSTRUCTION PROJECT.
- LOCATION OF MECHANICAL ELECTRICAL AND PLUMBING LINES, PIPES, DUCTS, CONDUITS, FIXTURES AND EQUIPMENT ARE SHOWN DIAGRAMMATICALLY UNLESS SPECIFICALLY DIMENSIONED.
- FLAMMABLE AND COMBUSTIBLE LIQUIDS ARE NOT PERMITTED TO BE PLACED OR STORED IN THE BUILDING.
- EXTERIOR DIMENSIONS ARE TYPICALLY TO FACE OF STUD (F.O.S.), FACE OF CONCRETE (F.O.C.) OR FACE OF PLYWOOD SHEETING (F.O.P.). LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE.
- PROJECT CONSTRUCTION WILL NOT ADVERSELY EFFECT (E) UTILITIES.
- (E) DESIGNATES "EXISTING" AND (N) DESIGNATES "NEW."
- THE CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS IN THE AREA OF WORK.



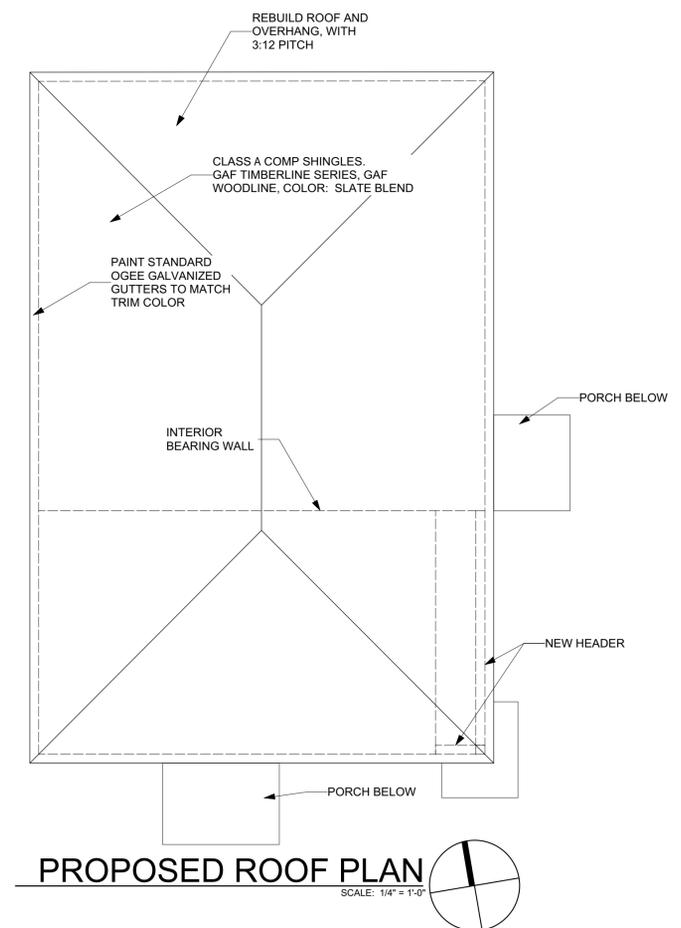
**DEMOLITION FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**PROPOSED FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

## LEGEND

- EXISTING WALL TO REMAIN
- ELEMENT TO BE REMOVED
- TH THRESHOLD
- TOS (E) TOP OF SLAB



**PROPOSED ROOF PLAN**  
SCALE: 1/4" = 1'-0"



**DWIGHT GREGORY**  
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## PROJECT:

PARTIAL DEMOLITION AND REMODEL AT:  
WESTERN RESIDENCE  
SANTA BARBARA MUSEUM OF NATURAL HISTORY  
2559 PUESTA DEL SOL  
SANTA BARBARA, CA 93105

**2758 LAS ENCINAS LANE  
WESTERN RESIDENCE**

## SHEET TITLE:

PLANS AND NOTES

DATE: 6/24/15  
SCALE: AS SHOWN

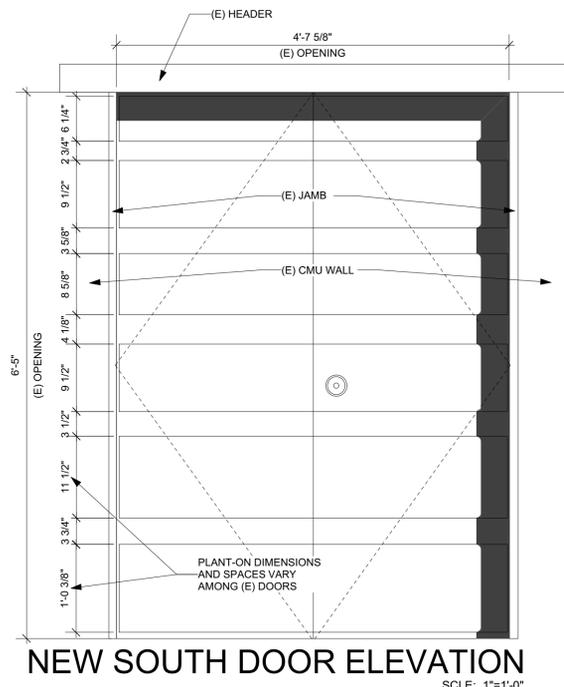
REVISIONS

FILE NO.: **2758WR**

SHEET:

# A3

DRAWN BY: DG  
PLOT DATE: 7/25/16

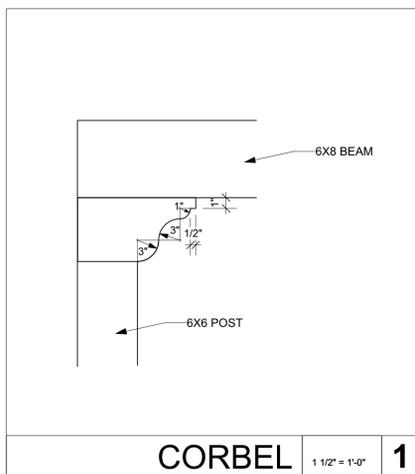


**NEW SOUTH DOOR ELEVATION**  
SCALE: 1/4" = 1'-0"

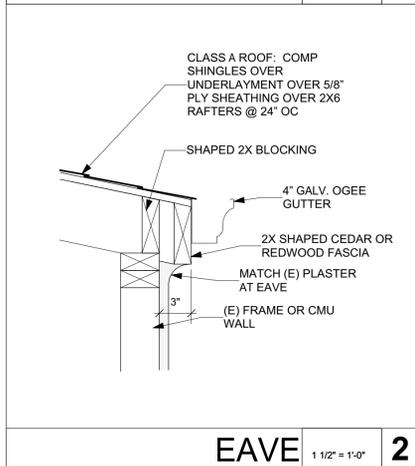


**SAVANNAH 8" OUTDOOR WALL LIGHT**

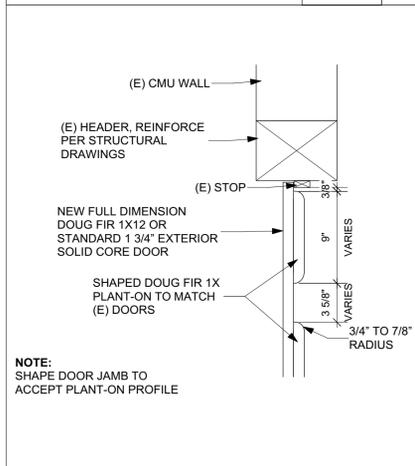
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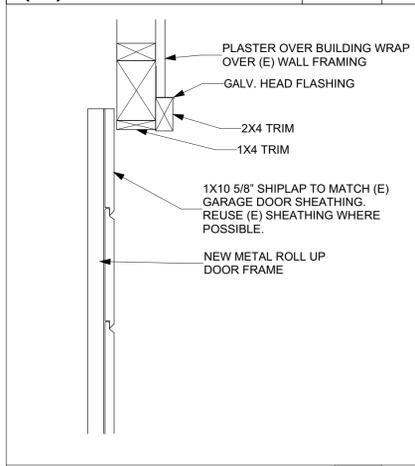
**CORBEL** 1 1/2" = 1'-0" **1**



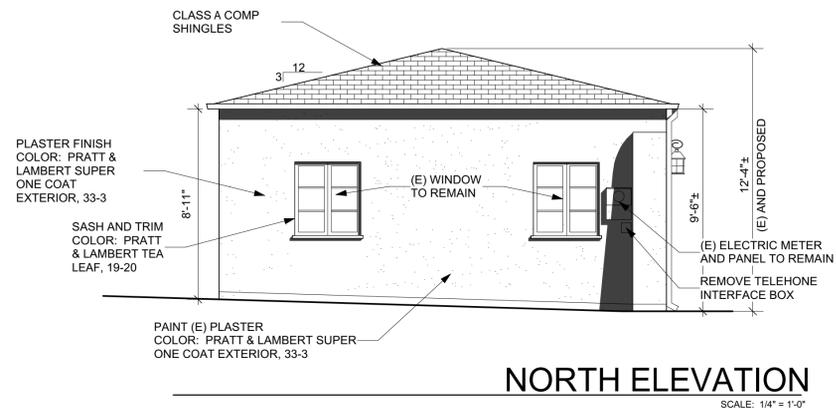
**EAVE** 1 1/2" = 1'-0" **2**



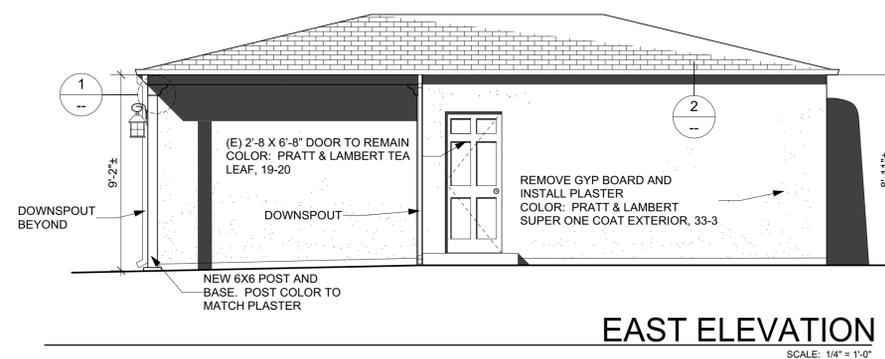
**(N) SOUTH DOOR** 1 1/2" = 1'-0" **3**



**(N) GARAGE DOOR** 1.5" = 1'-0" **4**



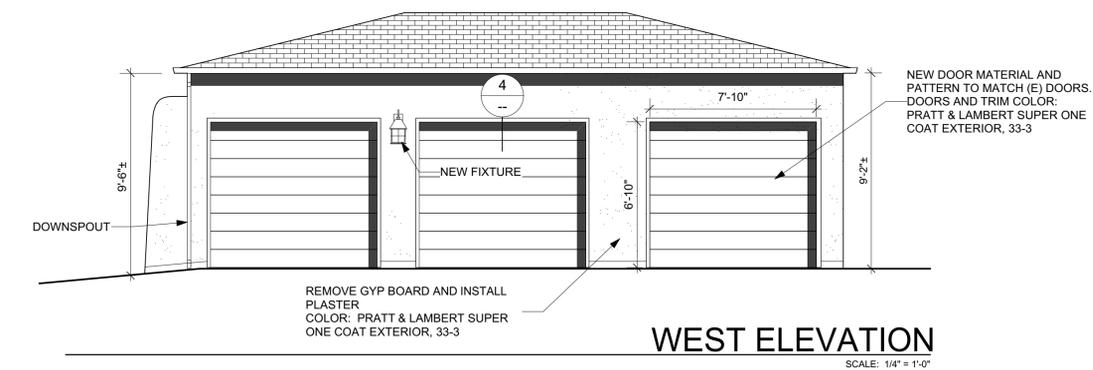
**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



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**2758 LAS ENCINAS LANE WESTERN RESIDENCE**

**SHEET TITLE:**  
EXTERIOR ELEVATIONS

DATE: 6/24/15  
SCALE: AS SHOWN

REVISIONS

FILE NO.: **2758WR**

SHEET:

**A4**

DRAWN BY: DG  
PLOT DATE: 7/25/16



**legend**

- approximate limit of work, refer to CIVIL for extent of grading
- (E) tree
- (E) tree to be removed
- landscape mulch
- approximate location of hose bib

2  
L1.1  
1  
L1.1

**(E) tree legend**

Botanical Name	Common Name
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Olea europaea</i>	Olive
<i>Umbellularia californica</i>	California Bay
<i>Pittosporum undulatum</i>	Pittosporum
<i>Strelitzia nicolai</i>	Giant Bird of Paradise

- general notes**
1. See separate plans for demolition notes.
  2. See L1.1 for material notes.
  3. See L1.1 for material and irrigation details.
  4. See L1.1 for tree inventory and tree protection notes.

**DWIGHT GREGORY ARCHITECTURE**

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**SANTA BARBARA MUSEUM of NATURAL HISTORY**

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SANTA BARBARA, CA 93105

**2758 LAS ENCINAS LANE  
WESTERN RESIDENCE**

**SHEET TITLE:**  
Landscape Plan

DATE: 7/11/16  
SCALE: AS SHOWN

REVISIONS

**DRAFT**

FILE NO.: **2758WR**  
SHEET:

**L1.0**

DRAWN BY: WB  
PLOT DATE: 7/11/16



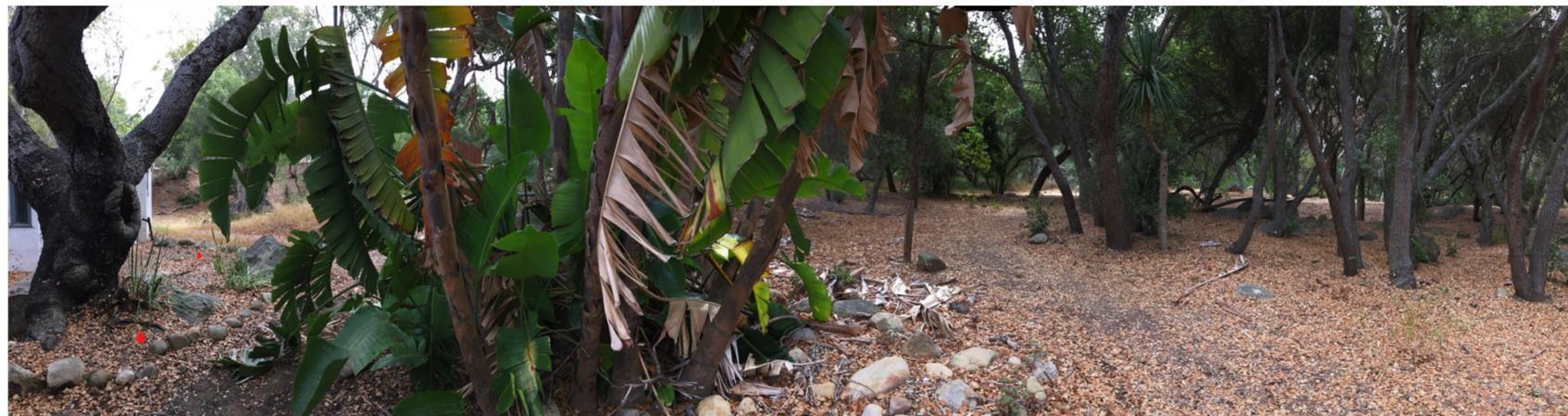
**1** 180° PANORAMA  
 LOOKING NORTH FROM  
 THE NORTH ELEVATION



**2** 180° PANORAMA  
 LOOKING WEST FROM  
 THE WEST ELEVATION



**3** 180° PANORAMA  
 LOOKING SOUTH FROM  
 THE SOUTH ELEVATION



**4** 180° PANORAMA  
 LOOKING EAST FROM  
 THE EAST ELEVATION



**5** NORTH ELEVATION



**6** EAST ELEVATION



**7** SOUTH ELEVATION



**8** WEST ELEVATION



FRONT DOOR



**9** VIEW FROM SOUTHWEST



**10** EXPOSED AREA OF HISTORIC REMNANT



SOUTH ELEVATION



NORTH ELEVATION  
 INTERIOR WINDOW IN HISTORIC REMNANT