

**PHASE 2  
HISTORIC STRUCTURES/SITES REPORT  
FOR THE  
SANTA BARBARA MUSEUM OF NATURAL HISTORY  
MASTER PLAN**

**MST 2014-00116**

**SANTA BARBARA, CALIFORNIA**

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April 9, 2014

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## 1.0 INTRODUCTION AND REGULATORY FRAMEWORK

The Santa Barbara Museum of Natural History's proposed Master Plan project proposes no new buildings but instead emphasizes renovations and improvements to the Museum's existing structures and built environment. These improvements range from a major renovation of the Marine/Paleontology/Geology Hall to interior "paint and paper" refreshments of other buildings along with replacement of the existing, temporary, outdoor butterfly exhibit. Proposed site improvements endeavor to significantly improve pedestrian circulation and ADA compliance throughout the site as well as to enhance the existing landscape and reconnect visitors to the natural beauty of this unique creek-side property.

The parcels owned by SBMNH within the project area encompass a multi-acre site in Mission Canyon. Located along the banks of Mission Creek, the Museum-owned parcels that are part of the currently proposed project encompass the following six assessor's parcels (APN): 1) APN 23-250-066; 2) APN 23-250-068; 3) APN 23-250-039 under County of Santa Barbara jurisdiction and three parcels, 4) APN 23-250-056; 5) APN 23-271-003 and 6) APN 23-271-004, located within the City of Santa Barbara (Figures 1 -3). While the unincorporated parcels are under the jurisdiction of the County of Santa Barbara, they are within the City of Santa Barbara's "Sphere of Influence" and are proposed to be annexed into the City's jurisdiction. The decision-making agency for the project is the City of Santa Barbara. Because the project proposes annexation to the City of Santa Barbara the Local Agency Formation Committee (LAFCO) is a decision-making agency for this project. The project area is delineated on the site parcel plan (see Appendix A, Sheet T1.1). The proposed Master Plan would allow for the renovation of the Marine/Paleontology/Geology Hall, alterations to the doors on the north elevation of Gould Indian Hall, repairs to some of the existing buildings on the project property, the demolition of the existing Butterfly Exhibit, the construction of a new Butterfly Garden Exhibit, site access improvements and other improvements. Please see Section 3.0 of this report for a complete project description.

The California Environmental Quality Act (CEQA) requires analysis of impacts that may result from project development, including impacts to historic resources. The report follows the guidelines for Historic Cultural Resource Studies set forth in the General Plan of the City of Santa Barbara, as well as State and Federal guidelines pertaining to the assessment of impacts to historic resources. These include the State CEQA Guidelines, specifically Section 15064.5, Determining the Significance of Impacts to Archaeological and Historical Resources, as well as the CEQA guidelines outlined in the City of Santa Barbara Master Environmental Assessment. The Phase 2 Historic Structures/Sites Report includes the following:

- 1) An assessment of project impacts to significant historic resources located on parcels owned by the Santa Barbara Museum of Natural History that were identified in the Phase 1 HSSR as summarized in Table 1;
- 2) An evaluation of project impacts to significant historic resources located on adjacent or nearby located parcels;
- 3) An evaluation of the impacts of the proposed project on the significant cultural landscape identified in the Phase 1 HSSR as delineated on Figure 4;

#### 4) Incorporation of Historic Preservation Development Standards for the project.

This report includes required findings regarding the potential environmental impact of the Specific Plan to the significant historic resources identified in this report. The report meets the requirements for historical resource studies as outlined in the City of Santa Barbara Master Environmental Assessment. Pamela Post, Ph.D., principal investigator and senior historian, and Timothy Hazeltine prepared this report.

## **2.0 EXECUTIVE SUMMARY**

The proposed Master Plan proposes changes to historic buildings or landscape features located within the project area. These potential impacts are evaluated in Section 10 of this report. Each impact under consideration is identified according to its level of significance as described below:

- Beneficial Effect (Class IV): An impact that would result in beneficial changes to the environment.
- Less than Significant Impact (Class III): An impact that may be adverse but does not exceed threshold levels and does not require mitigation measures. However, mitigation measures that could further lessen the environmental effect may be suggested if readily available and easily achievable.
- Significant but Mitigable Impact (Class II): An impact that exceeds a threshold of significance but can be reduced to below the threshold level given reasonable available and feasible mitigation measures. Such an impact requires findings to be made under § 15091 of the State CEQA Guidelines.
- Unavoidably Significant Impact (Class I): An impact that exceeds a threshold of significance and cannot be reduced to below the threshold level, given reasonably available and feasible mitigation measures. Such impact requires a Statement of Overriding Considerations to be issued if the project is approved (per § 15093 of the State CEQA Guidelines).

This study finds that the SBMNH Master Plan as proposed would not result in significant impacts provided the measures outlined in Section 10 of this report are implemented. Table 1 summarizes the potential impacts to resources identified in this report as eligible for listing as historic resources.

(see Table 1, next page)

<b>Table 1 Proposed Project Components</b>		
<b>Resource</b>	<b>Impact Description</b>	<b>Impact to Historic Resources</b>
<b>Main Museum Building:</b>		
<b>North Elevation</b>		
Gould Indian Hall	Reverse door swing.	Less than significant (Class III)
Cartwright Hall	No proposed changes.	No impact
Mammal Hall	No proposed changes.	No impact
Bird Habitat Hall	No proposed changes.	No impact
1922 wing: Entry Courtyard	Conservation of the existing courtyard fountain.	Beneficial, Class IV
1922 wing: Mineral wing (roof)	Replace existing mechanical units with a new rooftop condenser.	Less than significant (Class III)
Fleischmann Auditorium	Add metal gate at location of existing ramp.	Less than significant (Class III)
<b>South Elevation</b>		
Paleontology/Geology/Marine Hall	Remove several existing windows, add fenestration and door, construct wall around existing ground-level service entrance.	Less than significant (Class III)
Luria Hall	No proposed changes.	No impact
Administration Wing	No proposed changes.	No impact
Cartwright Hall	Replace existing mechanical equipment on roof.	Less than significant (Class III)
Mammal Hall	No proposed changes.	No impact
see next page		

<b>Table 1 Proposed Project Components</b>		
<b>Resource</b>	<b>Impact Description</b>	<b>Impact to Historic Resources</b>
<b>East Elevation</b>		
Administration Wing	No proposed changes.	No impact
Fleischmann Auditorium	Remove existing ramp and wall and install a mechanical lift, stairs and a new railing and gate.	Less than significant (Class III)
<b>West Elevation</b>		
Gould Indian Hall	No proposed changes.	No impact
Paleontology/Geology/Marine Hall	Demolish existing breezeway (loggia). Remove doorway and add fenestration.	Less than significant (Class III)
Gould Indian Hall	No proposed changes.	Less than significant (Class III)
Luria Hall	No proposed changes.	No impact
Fleischmann Auditorium	Add mechanical equipment and fencing	Less than significant (Class III)
<b>Other Alterations to the Main Museum Building</b>		
new rooftop mechanical equipment	Remove and replace mechanical equipment, rooftop stair tower and replace screening walls.	Less than significant (Class III)
Interior repairs and alterations; add two-hour firewalls that would include exterior alterations	Add fire walls to north and east sides of Paleontology/ Geology/Marine Hall.	Less than significant (based on current information) (Class III)
Demolish a section of the Hazard estate wall	Remove a six-foot-wide section of wall for pedestrian universal access.	Less than significant (Class III)
<b>Alterations to Other Buildings, Structures and Features in Vicinity of Main Museum Complex</b>		
MacVeagh House	Add mechanical equipment and enclosure to courtyard.	Less than significant (Class III)
See next page		

<b>Table 1 Proposed Project Components</b>		
<b>Resource</b>	<b>Impact Description</b>	<b>Impact to Historic Resources</b>
MacVeagh Cottage	Replace existing doorway on east elevation with a wider ADA-compliant door. Replace a deteriorated door on the north elevation with a new door matching existing. Fix in place another door on the north elevation. Demolish existing landings and decks and construct new railings and a raised deck.	Less than significant (Class III)
Hazard Carriage House	No proposed changes.	No impact
Observatory	No proposed changes.	No impact
Butterfly Exhibit	Demolish and replace with a new butterfly garden exhibit.	Less than significant (Class III)
Collections and Research Center	No proposed changes	No impact
Trash enclosure	Relocate existing trash to southwest corner of main parking area.	Less than significant (Class III)
<b>Alterations to the Landscape</b>		
Puesta del Sol	Future installation of a sidewalk along the south side of Puesta del Sol from its intersection with Mission Canyon Road to close to Fleischmann Auditorium as part of the Citizens for Safe Passage project.	Less than significant after implementation of design guidance (Class III)
<b>Alterations to the Landscape of the Main Museum Building</b>		
Landscaping off the north side of the Main Museum Building	Add an ADA-compliant boardwalk west from the entrance to the Main museum building to the entrance gates off the northeast corner of Fleischmann Auditorium.	Less than significant (Class III)
Landscaping off the east side of the Main Museum Building	No proposed changes.	No impact
Landscaping off the west side of the Main Museum Building	Remove existing paving and replace. Alter and partially replace existing landscaping from the northwest corner of the Main Museum Building to the north side of the pedestrian bridge crossing Mission Creek.	Less than significant (Class III)
see next page		

<b>Table 1 Proposed Project Components</b>		
<b>Resource</b>	<b>Impact Description</b>	<b>Impact to Historic Resources</b>
Paved area north of the entrance gates off the northeast corner of Fleischmann Auditorium	Replace the pedestrian portion of the existing asphalt paving located at the west end of the Main Museum Building with sandstone pavers.	Less than significant (Class III)
South Side of Fleischmann Auditorium	Remove portions of the existing asphalt paving and replace with permeable pavers.	Less than significant (Class III)
<b>Alterations to the Landscape adjacent to the Main Museum Complex on the North Side of Mission Creek</b>		
Whale Courtyard	No proposed changes.	No impact
Butterfly Exhibit	Remove existing asphalt paving and replace with new landscaping and paving. Add fencing, gates and lighting.	Less than significant (Class III)
<b>Alterations to the Landscape adjacent to MacVeagh House and Cottage on the North Side of Mission Creek</b>		
Area around MacVeagh House and MacVeagh Cottage	Install outdoor nature-learning area with paths, "stage" deck, creek island, fort-building area, paleo dig area and "backyard." This will include new ADA-compliant boardwalk, mulch surfacing materials, fencing and landscaping.	Less than significant (Class III)
Area west of MacVeagh House and Cottage	Enhance existing bioswale. Install deck/boardwalk and viewing platform at bioswale. Install decomposed granite surfacing on pathway linking southwest corner of parking area with viewing platform. Install new fencing.	Less than significant (Class III)
<b>South Side of Mission Creek</b>		
South Side of Mission Creek	Remove and replace some of the existing pathways on south side of Mission Creek with new ADA-compliant walkways with a variety of paving surfaces/materials.	Less than significant (Class III)
South Side of Mission Creek	Construct a Chumash Village Life interpretive area.	Less than significant (Class III)
<b>Cultural Landscape</b>		
See next page		

<b>Table 1 Proposed Project Components</b>		
<b>Resource</b>	<b>Impact Description</b>	<b>Impact to Historic Resources</b>
New construction & alterations to existing facilities	Construct new Butterfly Garden Exhibit, rehabilitate one existing wing of the Main Museum Building, install infrastructure improvements and new landscaping.	Less than significant (Class III)
New Landscaping and hardscape features	Renovate existing lands capping, install new pathways, fences and landscaping.	Less than significant (Class III)
Puesta del Sol	Future installation of a sidewalk along the south side of Puesta del Sol from its intersection with Mission Canyon Road to close to Fleischmann Auditorium as part of the Citizens for Safe Passage project.	Less than significant after implementation of design guidance (Class III)

### **3.0 PROJECT DESCRIPTION**

The Santa Barbara Museum of Natural History Master Plan proposes the following:

As it reaches its centennial and looks to its next 100 years of service, the Museum seeks to ensure a strong, vibrant future so that it can continue to educate, to inspire respect for nature and to promote ecological sustainability, both locally and globally. Santa Barbara Museum of Natural History President & CEO, Mr. Luke Swetland, leads this new approach to revitalizing the campus, and he has identified two strategies to realize the new vision:

1. *Enhance the visitor experience through a comprehensive revitalization of the Museum's campus based on new exhibitions and refurbished permanent galleries, improved universal access, landscape beautification, and more effective signage and site interpretation that unlock the historical and natural richness of the site, and*
2. *Bridge the indoor and outdoor experience for visitors through retooled educational programming that connects the world-class scientific research that we undertake on-site, with our exhibitions and our beautiful natural setting.*

To achieve these goals, the Museum has identified a "menu" of improvements that are feasible to implement over the next 10 to 15 years. As with any master-planning effort, the campus has been evaluated comprehensively, and the improvements that are now planned will be implemented as immediate priorities and available funding dictates over the next 10 to 15 years.

#### *Overview of Proposed Project*

Modest-scaled repairs are proposed throughout the existing building complex along with a more comprehensive remodeling of the Marine/Paleontology/Marine Hall located at the southwest corner of the Main Museum Building. The existing public restrooms located off the west elevation

of Gould Indian Hall (Chumash Hall) would be remodeled to increase the number of water closets by a total of three. Enhanced landscaping, woodland restoration, improved pedestrian access and circulation throughout the site, the removal and replacement of the existing butterfly exhibit with a new Butterfly Garden Exhibit are also on the list of improvements proposed by the Museum. As requested by the City, the updated CUP application includes a reporting of the existing level of activities, attendance and programs. Prior to 1991, when the Museum believes a higher attendance level was approved by the City, a maximum annual attendance of 165,547 people had been approved, and it is this maximum annual attendance level that is proposed in the CUP update. The Museum is also proceeding with the annexation request of the western portion of the Museum site so that all of its property is within the City's jurisdiction.

### *Project Plans*

Preliminary architectural plans, landscape plans and grading and drainage plans by Schacht Aslani Architects, Van Atta Associates (Landscape Architects) and Flowers & Associates (Civil Engineers) are found in Appendix A.

Proposed improvements are shown on the project plans, and these are organized as follows:

- Sheet T1.10– T1.1  
General project information:
  - site statistics
  - project statistics etc.
- Sheet C-1 – C-2  
Grading and drainage associated with proposed site improvements:
  - drainage improvements
  - earthwork quantities
  - utilities
- Sheet L0.0 – L2.0  
Landscape drawings indicating details of site improvements such as:
  - permeable surface treatments
  - garden elements and structures
  - outdoor and educational activity areas
  - replacement butterfly exhibit/garden
- AD1.11 – A4.13  
Architectural plans:
  - demolition plans for areas being remodeled (non-historic structures)
  - site plan
  - floor plans for remodeled areas
  - elevations of remodeled areas
  - sections

## Project Components

The menu of proposed project components is listed in Table 2 below, and this is followed by a more detailed description below.

<b>Table 2 Proposed Project Components</b>		
<b>No.</b>	<b>Project component</b>	<b>Plan Sheet Reference</b>
<b>Western Parcel Site Improvements</b>		
1	New decomposed granite pathway and boardwalk leading to new bioswale overlook	C-1, L1.2,
<b>Main Campus Site Improvements</b>		
2	Woodland habitat restoration & conversion of an existing drainage ditch to bioswale	L1.2
3	3 relocated parking spaces, ( 1 ADA, permeable concrete)	C-1, L1.2, A1.11
4	Relocated trash & recycling enclosure	C-1, A4.11, A1.11
5	Replace 18" diameter storm drain & raise ex. drain inlet	C-1
6	New boardwalk to and around "backyard" features (fort building and paleo dig area) of approximately 1,036 SF	C-1, L1.2
7	New deck ramp, and viewing platform at backyard clubhouse (402 SF)	C-1, L1.2, L1.3
8	Resurface portion of backyard with engineered wood fiber and mulch	C-1, L1.2
9	Existing pond and re-circulating creek reconstruction & new filtration (existing 1,375 SF; proposed 1,200 SF)	C-1, L1.2, L1.3
10	Reconfiguration of existing asphalt pathways at various locations near CRC to improve accessibility and ADA compliance	C-1, L1.1, A1.11, L1.2
11	Resurface area around butterfly exhibit with combination of permeable surfaces (decomposed granite, permeable concrete, decorative pavers)	C-1, L1.1, L2.0
12	Replace butterfly exhibit with Butterfly Garden Exhibit, 2 stone entry vestibules, garden walls with runnel & water basins, structural "tree" supports and tensioned mesh netting; the surface area dedicated to this exhibit will increase by approximately 397 SF	L2.0, AD1.11
13	Replace existing asphalt with permeable surfaces at delivery area in front of iron gates at frontage and various locations between buildings; improve ADA compliance	C-2, L1.1,
14	Create ADA-compliant path of travel with permeable surface treatments (pavers and boardwalk) between whale courtyard and Museum's front entry	C-2, L1.1, AD1.11, A1.11
15	Remove portions of asphalt south of Marine/Paleontology/Marine Hall and add new deck (1900 SF) over asphalt between Marine/Paleontology/Geology Hall and existing pedestrian bridge	C-2, L1.1, A3.11, AD1.11, A1.11

<b>Table 2 Proposed Project Components</b>		
<b>No.</b>	<b>Project component</b>	<b>Plan Sheet Reference</b>
16	Reconfigure and resurface existing pathways with permeable surfaces on south side of pedestrian bridge to improve accessibility to the Broder Building & Coggeshall Bowl	C-2, L1.1
17	Create Chumash Village Life outdoor interpretive exhibit	L1.1
18	Enhance existing gardens (ethnobotany garden, native riparian garden, riparian garden, historic ornamental garden)	L1.1, L1.2
<b>Main Campus Building Improvements</b>		
19	Validate conversion of MacVeagh Cottage (475 SF) from residential to backyard clubhouse; replace existing deck and ramp	AD4.11, A4.11, L1.2
20	Add new HVAC unit and fence enclosure in courtyard of MacVeagh House	A4.11
21	Renovate Marine/Paleontology/Geology Hall including exterior changes (new doors and windows) and rehabilitate Gould Hall; create fire separation between Marine/Paleontology/Geology Hall and Gould Hall; reverse swing of doors on north elevation of Gould Hall; roof modification and replacement of HVAC on roof (this includes removing a duct on the roof of Luria Hall); removal of 276 SF roof access stair tower.	A2.21, A2.22, A2.23, A3.11, A3.21, AD2.22, AD2.23, AD3.21, AD3.11, A4.13
22	Remove roof connection between Marine/Paleontology/Geology Hall and Education Building	AD3.12, A3.12, AD1.11, A1.11
23	Renovate existing bathrooms to increase fixture count, includes exterior alterations and small increase in floor area of 82 SF (under existing roof)	A2.22, AD2.23, A3.11, A4.13, , AD2.22, AD3.11
24	Install new hydraulic lift and stairs to serve Fleischmann's basement (facilities workshops), includes low screen wall and gate	AD2.21, A2.22, A3.12, A3.21, A4.12
25	New HVAC equipment with fenced enclosure at southwest corner of Fleischmann Auditorium	A2.22, A3.12, A1.11
26	Miscellaneous: conserve fountain in original quad courtyard; create opening in Hazard Estate wall to accommodate ADA complaint path to Museum entry	L1.1, A2.22, A2.31, A3.11, A4.12
27	Repairs/refreshes to interiors of Museum structures throughout the campus	T1.3

### **Western Parcels**

Assessor parcels APN 23-250-039, APN 23-250-066, and APN 23-250-068 are within the County's jurisdiction and are proposed to be annexed to the City with this application. There is an existing residence on this portion of the site that is proposed to remain with no change in function or

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footprint. This portion of the site is primarily used for passive recreation, bird watching and other nature educational programs, and these passive uses are proposed to continue.

Future habitat restoration, including the removal of some of the non-native trees and plantings, is anticipated to occur over time in an effort to reduce fire hazard and increase habitat values throughout the oak woodland.

## **Main Campus Site Improvements**

### *Pedestrian Circulation & Improved ADA Access*

A primary objective for the campus is to improve accessibility and ADA compliance throughout the site. Existing pathways and outdoor activity areas are being reconfigured and resurfaced in several locations, including the path of travel from the whale courtyard to the front entry, to achieve this goal.

A companion improvement to this effort (and other site improvements) is to reduce stormwater runoff by replacing existing impermeable paved surfaces with permeable surfaces.

As a founding member of Citizens for Safe Passage, the Museum is participating with a significant group of stakeholders who are collaborating with multiple public agencies in an effort to create a safe pedestrian access along Mission Canyon Road between the Mission and Foothill Road. At such time as improvements to the Mission Canyon Road/Puesta del Sol intersection are constructed, the Museum proposes to construct a compatible sidewalk along its Puesta del Sol street frontage (south side) to connect access to the campus to this new, improved corridor.

### *Butterfly Garden Exhibit*

The existing butterfly exhibit that is currently located south of the Collections & Research Center will be replaced in the same location with a new butterfly exhibit. The location and use of the existing butterfly exhibit were approved by Planning Division in 2003, but subsequent design review by HLC required that the exhibit be replaced ultimately with one that is compatible within the EPV II district. The new butterfly exhibit would have six-foot-tall garden walls, a runnel & fountain, stone entry vestibules and steel "trees" supporting a black mesh netting to create a distinctly outdoor yet secure and enclosed space. The design meets Federal Department of Agriculture criteria for butterfly containment while at the same time providing an inviting garden space that may be used in a variety of ways.

### *Backyard*

Outdoor educational programs have long been popular with adults and children of all ages. In recent years inspiring children to play and learn outdoors while interacting with nature has become increasingly important. Educational programs with this emphasis have become more focused in an area of the site known as the "backyard." Activities and programs that used to take place in different areas of the site are now primarily focused in the backyard area.

To support these programs, a "clubhouse" was created by converting MacVeagh Cottage, a small residence in the backyard area. Other existing features include a re-circulating creek and fort-building area. The re-circulating creek is proposed to have its liner replaced and filtration added. The creek will be somewhat reduced in size from 1,375 SF to 1,200 SF.

Specific outdoor activities and programs are anticipated to change over time. The project plans currently envision a new 402-SF deck around the clubhouse, a paleo dig area and outdoor "stage." In the future these activities may yield to other mission-related educational activities and programs in this area as social interests and cultural trends evolve.

#### *ADA-Compliant Creekside Terrace*

On the south side of the existing Main Museum Building topographic anomalies create access issues for visitors who have physical disabilities. Improved barrier free access is desired as well as having a need to provide a comfortable, flat surface for groups of people to gather for educational programs, other activities and special events.

To meet this goal a new creekside terrace (approximately 1,900 SF) is proposed for the asphalt-paved area between the south elevation of the Marine/Paleontology/Geology Hall, the Education Building and the Nature Observatory. The terrace deck would be constructed of fire-rated materials directly over the existing asphalt pavement, which would remain in place. Access from the terrace to the Main Museum Building would be provided by a new exit door located at the west end of the Marine/Paleontology/Geology Hall's south elevation.

#### *Area on South Side of Mission Creek*

Accessible pathways are proposed around the existing activity areas in this portion of the site including the Broder building, Coggeshall Bowl and the picnic area.

A new Chumash Village Life outdoor interpretive exhibit is also proposed at the southwest end of this area.

#### *Miscellaneous Small Site Improvements*

##### *Trash Enclosure & Relocated Parking Spaces*

The Museum's existing refuse and recycling dumpsters are located along a service drive located just west of the Collections & Research Center. The dumpsters are not currently surrounded by an enclosure. As part of the Master Plan refuse and recycling would be relocated to a concrete-paved trash enclosure located at the southwest corner of the parking lot. The new location would facilitate access for refuse and recycling trucks and would significantly reduce the length of time trucks would need to use their back-up alarms.

Five parking spaces are being displaced by the relocated trash enclosure, and these would be replaced by three spaces adjacent to the enclosure at the new decomposed granite pathway leading into the woodland and one located elsewhere in the existing parking lot.

#### *Courtyard Fountain*

In order to preserve the existing historic wall fountain in the courtyard of the 1922 wing of the Main Museum Building, a conservation plan developed by Silverlake Conservation LLC would be implemented (Appendix C).

### **Main Campus Building Renovations and Improvements**

#### *Main Museum Building (Legacy Buildings)*

Interior renovations ranging from the most modest of cosmetic “refreshments” (paint, updated lighting, the addition of interactive exhibits, etc.) are anticipated to occur in virtually all of the historic buildings over time. A higher level of renovation is also proposed in several buildings, and these are briefly described below.

#### *Marine/Paleontology/Geology Hall and Gould Hall*

A comprehensive renovation of the Marine/Paleontology/Geology Hall, a non-historic wing of the Main Museum Building, is proposed. Exterior alterations include the following: On the west elevation remove a loggia linking the wing to the east elevation of the Education Building and a set of doors and add two windows; On the south elevation change the fenestration by altering the basement-level fenestration and replacing the existing basement-level door; Add an exit door, new fenestration and a new cornice to the south elevation; and Remove and replace existing rooftop mechanical equipment on the roof of Marine/Paleontology/Geology Hall; and Replace existing rooftop mechanical equipment and remove the roof-access stair on Marine/Paleontology/Geology Hall.

#### *Restroom Wing off the West Elevation of Gould Indian Hall*

A remodel of the existing restrooms off the west elevation of Gould Indian Hall (Chumash Hall) across from the entrance to Fleischmann Hall is proposed to increase the overall number of toilets. A modest increase in floor area of 82 sf is proposed, and exterior changes have been designed to be compatible with EPV Guidelines.

#### *Fleischmann Auditorium*

#### *Hydraulic Lift outside Fleischmann Basement*

A new hydraulic lift and stairs are proposed to replace an existing steep ramp serving the Fleischmann basement where the facilities' workshops are located. The grading and ADA-compliant path of travel being created in this area resulted in the elimination of this ramp. Due to the removal of the ramp, a means was needed to move large, heavy materials and exhibits into

and out of the basement workshops. The lift would be screened by walls and an ornamental iron gate.

#### *MacVeagh House*

A new HVAC unit is proposed. The HVAC equipment would be located within a fenced enclosure in MacVeagh House's interior courtyard.

#### *MacVeagh Cottage*

Remove and replace an existing door on the east elevation with a wider ADA-compliant door. Fix an existing door on the north elevation in place, and replace a deteriorated door on the north elevation. Replace the existing porch decks, steps and railings with a new ramp and railings.

#### Grading

The project site is gently sloped with an estimated average slope of 4%. Implementation of all project components generates total earthwork of approximately 2,200 cubic yards.

### **4.0 PREVIOUS STUDIES**

In 1981, the City of Santa Barbara designated a portion of the Main Museum Complex of the Santa Barbara Museum of Natural History, the Museum's Fleischmann Auditorium and the stone wall built for the former Hazard estate as a City of Santa Barbara Structure of Merit (see Appendix B). None of the other buildings or features on the Museum campus or non-institutional buildings or features owned by the Museum is a designated City of Santa Barbara Landmark or Structure of Merit, nor is any listed in the City of Santa Barbara Potential Historic Structures/Sites List. None of the buildings or features on the Museum's campus or non-institutional buildings owned by the Museum is listed in the California Register of Historical Resources or on the National Register of Historic Places. In 2009, the MacVeagh House and cottage were determined eligible for listing as a City of Santa Barbara Landmark, as well as for listing in the California Register of Historical Resources and the National Register of Historic Places (the cottage was found not eligible for designation on an individual level, but was eligible for listings as a contributor to the setting of MacVeagh House) (Post/Hazeltine Associates 2009). In 2011, the property at 653 Mission Canyon Road (the former Herman H. Eddy House, now the Director's House) was evaluated by Post/Hazeltine Associates. The report determined that the house was eligible for designation as a City of Santa Barbara Landmark, as well as for listing in the California Register of Historical Resources and the National Register of Historic Places (Post/Hazeltine Associates 2011).

In 2011, a Phase 1 Historic Structures/Sites Report (HSSR) was prepared by Post/Hazeltine Associates for the following parcels owned by the Museum which are within the current project area: APN 23-250-039, APN 23-250-056, APN 250-066, APN 23-250-068, APN 23-271-003 and APN 23-271-004 (Post/Hazeltine Associates 2011). A number of other parcels located on the north side of Puesta Del Sol were evaluated in 2011 but are not located within the boundaries of the current project. The methodology for determining whether potential historic resources met the eligibility

requirements for listing as historic resources under City, State and Federal eligibility criteria was based on archival research to determine the historic context of the properties within the project area, as well as on-site evaluation of the physical and visual integrity of each building, structure, feature and landscape component. The Phase 1 HSSR included the following:

- 1) Documentation of the historic context and physical appearance of the resources within the project site including individual buildings, structures, features and landscape components;
- 2) Evaluation of the integrity of surveyed resources using the integrity criteria set forth in the City of Santa Barbara's Master Environmental Assessment (MEA);
- 3) Identification of potential historic, architectural and cultural resources within the project area; and
- 4) Evaluation of potential resources for listing as significant historic resources at the City of Santa Barbara, State and Federal levels.

The Phase 1 HSSR identified the presence of significant historic resources on the property, in addition to a significant cultural landscape (please refer to Tables 3 – 5 at the end of Section 6). The report also identified those buildings, features and landscaped components that did not meet the definition of a significant historic resource (please refer to Tables 3 – 5 at the end of Section 6). The Phase 1 HSSR was reviewed and accepted by the Historic Landmarks Commission (HLC) on August 11, 2011.

## **5.0 ENVIRONMENTAL SETTING**

The Museum is located within a residential zone district in the Mission Canyon neighborhood. Residential uses adjoin the Museum property to the north and west while institutional, quasi-public uses adjoin it to the south and east. The Museum's landholdings include several residential parcels located north of Puesta del Sol, across from the Museum main entrance, which are not included in this application. Listed below are the assessor parcels (APN) that make up the Museum's existing campus and parcels to the west that are currently under the jurisdiction of the County of Santa Barbara and are proposed to be annexed to the City as part of the Museum's application. Thus, all of the following assessor parcels will be included in the Museum's Conditional Use Permit (CUP): Existing Main Campus within the City: APN 23-250-056, APN 23-271-003 and APN 23-271-004 and the following three parcels located in the western portion of the institution's landholdings that are proposed for annexation to the City:, APN 23-250-066, APN 23-250-068 and APN 23-250-039.

The Museum site, addressed as 2559 Puesta del Sol Road, encompasses 15.43 acres. The Museum property is bifurcated by the City/County jurisdictional boundary. The western portion of the site that is under County jurisdiction is zoned 20-R-1 with a residential land use designation. Museum buildings and facilities under City jurisdiction are located on the eastern portion of the site and are zoned E-1 with a dual land use designation of Residential (3 units/acre) and Major Public Institutional.

The existing Museum buildings on the project site have a total floor area of 83,295 square feet and 4,545 square feet of residential floor area. A total of 82 sf of new floor area is proposed for the

public restrooms and a decrease of 276 square feet from the removal of upper stairs on the Marine/Paleontology/Geology Hall. Implementation of the proposed project would result in a total square footage of 83,101. Please refer to Appendix A, Sheet T1.1 for a detailed breakdown of project statistics.

There are currently 156 parking spaces on-site, including six ADA spaces. The current project proposes to remove one parking space at the southwest corner of the parking lot resulting in a total of 155 spaces (including seven ADA spaces).

### General Environmental Setting

Mission Canyon is the largest and most dramatic of the canyons that extend from the Santa Ynez Mountains toward the Pacific Ocean. Formed by tectonic activity, erosion and sedimentation of Mission Creek and Sycamore Canyon Creek, the canyon's vegetation was, at the time of European contact, composed of riparian plant communities along the watercourses and oak woodland on the canyon's flatlands and slopes. Over time the trajectory of Mission Creek has shifted dramatically resulting in the creek's current pathway, which flows west along the base of the bluff on which Mission Santa Barbara is located. A narrow gap, which forms the principal entrance to Mission Canyon, separates Mission Santa Barbara from the geological feature of Mission Ridge to the southeast. Since the foundation of the Santa Barbara Presidio in 1782 and Mission Santa Barbara in 1786, human activity, including grazing, agriculture and suburbanization, have altered the native plant communities that once characterized the canyon. Today, the landscape of the canyon represents a mix of non-indigenous exotic species and native plant habitats, such as the remaining native oak woodlands on the SBMNH property.

Located in Mission Canyon, two of the Museum's parcels within the project area are within the City of Santa Barbara's Upper East Neighborhood, and four of the parcels are within the County of Santa Barbara. The development pattern of Mission Canyon is characterized by a mix of residential, religious, secular, institutional and social/recreational uses. Residential usage, which makes up the majority of Mission Canyon's development, is comprised almost exclusively of single-family houses. In near proximity to the Santa Barbara Museum of Natural History are the institutional facilities of the Garden Street Academy (former Saint Anthony's Seminary) and Roosevelt School, while religious institutions, recreational and social entities include Mission Santa Barbara, the Order of the Holy Cross, Rockwood Woman's Club, Rocky Nook County Park and the Santa Barbara Botanic Garden.

## 6.0 SITE DESCRIPTION

The following provides a brief description of the Santa Barbara Museum of Natural History (SBMNH) campus. A more detailed description of individual buildings and features can be found in the Phase 1 HSSR, completed in 2011. Please refer to Section 6.1 of this report for descriptions of significant historic resources that are currently proposed for alteration or modification or within the project area and Sections 9.6 & 9.7 for a list of these resources' character- and non-character-defining elements.

The SBMNH campus extends over eight parcels located either along or near Mission Creek at the

south end of Mission Canyon. Primarily built over a 90-year period, the institution is composed of the Main Museum Complex, located just to the west of the intersection of Puesta del Sol and Mission Canyon Road, and eight semi-detached or freestanding buildings, located along the north and south banks of Mission Creek. To the west of the Main Museum Complex are a number of former residential/service buildings owned by the Museum. A cluster of residential buildings and garages, built between circa-1890 and the late 1920s, located on the north side of Puesta del Sol are owned by the Santa Barbara Museum of Natural History but are not part of the current project or within the project site (see Figure 3).

## **6.1 Description of the Main Museum Complex at 2559 Puesta del Sol and its Significant Historic Resources (APN 023-271-003)**

### **6.1.1 Main Museum Building**

Located between Puesta del Sol and the north bank of Mission Creek, the Main Museum Complex is comprised of the following elements: Original Courtyard (1922); Gould Indian Hall (1926); Cartwright Hall (former Botany Hall) (1927); Mammal Hall (1927); Library (1927); Local Birds Hall (1934); Administration Wing (1934); Fleischmann Auditorium (1937); Marine and Paleontology/Geology Halls (1952); Bird Habitats Hall (1961); and the John and Peggy Maximus Gallery (1994) (please see Tables 3 – 5 at the end of Section 6 for a list of the property's

Because the terrain slopes down towards Mission Creek from Puesta del Sol, the street façade of the Main Museum Complex is, with the exception of Fleischmann Auditorium, one-story in height while the rear of the complex features both one- and two-story volumes. The buildings and wings were constructed in an additive fashion, most of them between 1922 and 1937. Placement of the wings was not according to a single plan but was constrained by topographic features and the size and configuration of the Museum's landholdings, which changed over time. This development pattern is a characteristic feature of the complex, which eschews axiality in favor of a more informal arrangement of passageways and pathways to link the complex's various wings and buildings. Stylistic features that identify the main museum building as an example of the Spanish Colonial Revival style include its emphasis on picturesque massing, modest, humanly scaled volumes, vernacular materials such as plastered walls, modestly pitched gabled and shed roofs covered in c-shaped terra cotta tiles, deep-set windows, arcades, wood beams and posts, a central courtyard surrounded by arcades and restrained use of decorative embellishments such as wrought-iron gates and grilles, and glazed ceramic tiles and cast stone that are primarily confined to principal entrances, windows and doors (Figures 5 – 27). Tables listing of the Main Museum Building's non-character-defining elements are found in Table 3 -5 at the end of Section 6.

### **1922 Wing**

The north elevation is composed of several projections and recessions. At the center of the elevation a slightly projecting block comprises the original core of the Museum building completed in 1922 (see Figures 7-8, 21a, 24 -26). This wing is organized around a courtyard paved with irregular-shaped sandstone pavers. On its north, east and west sides the courtyard is surrounded by arcaded corridors capped by flat roofs capped by parapets and shed roofs

covered in c-shaped terra cotta tiles. On its south side the courtyard is flanked by an open corridor composed of two arches flanking a wall fountain embellished with antique tiles memorializing Roland Hazard. The north elevation of the 1922 wing, which faces Puesta del Sol, is composed of a centrally placed groin vaulted corridor, flanked by one-story volumes capped by side gable roofs. At its center the arched entrance to the corridor is flanked on either side by decorative, cast-concrete, Baroque-style columns; on either side of the columns are wrought-iron lanterns. The entrance features wrought-iron gates embellished with decorative scrollwork. Above the entrance a diminutive espadana is embellished with a cast-concrete relief of a winged egg, referencing the institution's genesis as a Museum of Comparative Oology. Below the relief, raised metal letters spell out the institution's name, "Santa Barbara Museum of Natural History." The fenestration of this elevation is composed of a symmetrical arrangement of rectangular, multi-light, wood-framed casement windows covered by wrought-metal grilles. The east and west elevations of the 1922 wing are encapsulated by Gould Indian Hall (1926) and Cartwright Hall (former Botany Hall) (1927). The south (rear) elevation of the 1922 wing is encapsulated by the Luria Hall (Local Birds Hall) (1934) and the Administration Wing (the former Anthropology Wing) and Luria Hall and the former Geology Hall (1952). The Phase 1 HSSR determined that the 1922 Wing, excluding additions made after 1945, is a significant resource for the purposes of environmental review.

### **Cartwright Hall (former Botany Hall) (1927)**

On its east end the 1922 Wing is flanked by the recessed façade of Cartwright Hall (former Botany Hall, built 1927). Designed by Carleton Winslow to house botany exhibits and collections, the wing with its narthex-like entrance porch, rear apse and narrow side aisles evokes the appearance of a chapel, with an arcaded entrance porch, central nave capped by gable roof flanked on either side by flat-roofed aisles embellished with blind arches (see Figures 5a, 12-13, 14, 22, & 27). The rear of the building features a semi-circular buttressed apse. An arcaded porch, capped by a shed roof, extends the length of the north elevation, which faces Puesta del Sol. A fountain embellished with tilework that was originally set at the center of the apse may still exist behind later alterations. The in-filled arch at the center of the arcade is embellished with figural glazed tiles featuring vegetative and insect motifs. The interior of the wing has undergone substantial alterations including the sealing over of the windows and apse. The Phase 1 HSSR determined that Cartwright Hall (former Botany Hall), excluding additions made after 1945, is a significant resource for the purposes of environmental review.

### **Gould Indian Hall (1926)**

Built in 1926 to display Chumash artifacts, Gould Indian Hall is set perpendicular to Puesta del Sol. The principal elevation features a shed-roofed, one-story arcaded porch set beneath a front-facing gable (see Figures 9a & 19). The west end of the arcade is attached to a roofed portico that links the wing to Fleischmann Auditorium, while a roofed open corridor links the east end of the arcade to the 1922 wing. On the wing's east and west elevations a series of in-filled arched windows once lighted the exhibit hall. The south elevation of the wing is completely encapsulated by the Paleontology/Geology/Marine Hall. The construction of a restroom wing in 1952 encapsulated all but the upper portion of the Gould Indian Hall's west elevation. The Phase 1 HSSR determined that Gould Indian Hall, excluding additions made after 1945, is a significant

resource for the purposes of environmental review.

### **Mammal Hall (1927)**

Built in 1927 to house mammal dioramas, the Mammal Hall is a rectangular wing capped by a front gable roof covered in terra cotta tiles. Its exterior walls are covered in plaster. The interior features glassed dioramas set on either side of a central aisle. The entrance/exit doors are set at the center of the north and south elevations and near the south end of the west elevation. The primary entrance into the hall is through a set of double doors set at the south end of the west elevation. In 1961, an arcade capped by a shed roof covered in terra cotta tiles was added to the wing's north and west elevations to provide a sheltered passageway between the new Local Birds Hall built in 1961 (see Figures 11 -12a). On the rear (south elevation) a shed-roofed porch supported by square wood posts shelters the rear entrance and provides a covered passageway to the adjoining Library wing. The construction of the Local Birds Hall in 1961 encapsulated the hall's original east elevation, and the construction of the arcades in 1961 partially obscured the north and west elevations from view. The Phase 1 HSSR determined that the Mammal Hall, excluding additions made after 1945, is a significant resource for the purposes of environmental review.

### **Library (1929)**

Built in 1919 and named in honor of Max Fleischmann, one of the institutions leading benefactors, the Library is a rectangular wing with exterior walls sheathed in plaster and a front gable roof covered in terra cotta tiles (see Figures 5, 11 &12). A masonry plaster-sheathed chimney set at the center of the north elevation vented the room's fireplace. Today the main entrance to the library is through a glazed door set near the south end of the west elevation with a secondary entrance via an interior door opening into the lobby to the Maximus Gallery. The wing's clerestory windows, which extend along the east and west elevations, have been sealed or painted over. In 1961, an addition linking the new Bird Habitats Hall to the east elevation of the Mammal Hall was built. Construction of this addition encapsulated the north elevation, with the exception of the upper portion of the end gable roof and its chimney. In the later 1960s an addition was made off the rear of the Library, which encapsulated all but the west end of the original elevation. Construction of the Maximus Gallery in 1994 encapsulated the east elevation. The Phase 1 HSSR determined that the Library, excluding additions made after 1945, is a significant resource for the purposes of environmental review.

### **Luria Hall (1934)**

Luria Hall was built in 1934 to house mounted bird specimens. The rectangular wing is capped by a front gable roof covered in terra cotta tiles. The wing's north elevation opens onto the arched corridor that extends along the south side of the 1922 wing. The wing's front gable roof and its cast-stone vent are visible from the museum courtyard. Facing towards Mission Creek, the south elevation features a cast-stone vent below the peak of the gable roof, two symmetrically placed rectangular windows that open onto shallow metal balconies and a multi-light window and in-filled window (now housing a fire hose cabinet) at its basement level. The east elevation features a set of double metal doors at the south end of the elevation and two arched multi-light windows

set just below the cornice line. On the wing's east elevation a window and door at ground level provide light and access to the wing's basement. The west elevation of Luria Hall, with the exception of its roof and cornice, is completely encapsulated by the Paleontology/Geology/Marine Hall. The Phase 1 HSSR determined that Luria Hall, excluding its post 1945 additions, is a significant resource for the purposes of environmental review.

### **Administration Wing (1934)**

The Administration Wing was built in 1934 to house the Anthropology and Ornithology Departments. Capped by a complex side gable roof covered in terra cotta tiles, the Administration Wing has an L-shaped configuration and is attached to the southeast corner of the 1922 wing (Figures 12, 15 & 16). Designed to house office and laboratories, which required adequate lighting, the wing features more windows than most of the Main Museum Building's other wings. The fenestration is characterized by a regular arrangement of multi-light casement windows, some covered by metal grilles. The north elevation is composed of a balanced arrangement of multi-light casement windows with a flush panel door at the center of the elevation on the first floor that opens onto a narrow open space between this wing and the rear of the Cartwright Hall. The south elevation, which faces Mission Creek, features three levels of fenestration composed of a balanced arrangement of multi-light windows and French doors, with the lower level opening into a basement. A wood porch, capped by a shed roof featuring a balustrade-style wood railing, extends the length of the first floor. The fenestration of the east elevation is composed of a balanced arrangement of multi-light wood casement windows on the first and second floors, some covered by metal grills. The Phase 1 HSSR determined that the Administration Wing, excluding its post-1945 alterations, is a significant resource for the purposes of environmental review.

### **Fleischmann Auditorium (1937)**

Designed by Chester Carjola and built in 1937, Fleischmann Auditorium is located across a narrow courtyard from Gould Hall and the restroom wing built in 1952. The Spanish Colonial Revival-style building features a tiled roof, plastered walls, wood casement windows set in moderately deep reveals and hand-wrought metalwork. Capped by a moderately pitched front gable roof covered in c-shaped terra cotta tiles, the building rises to a height of two stories (see Figures 9, 9a, 11, 21, & 23). On the east elevation an arcaded shed-roofed porch shelters sets of double doors that provide access to the interior. At the south end of the elevation, a recessed portion of the façade featuring a shed-roofed porch supported by wood posts overlooks a sloping concrete ramp that provides access to a basement-level wood shop accessed via a set of double doors. At the north end of the entrance arcade an open loggia with arched openings is capped by a shallow-pitched pyramidal roof covered in terra cotta tiles. The ceiling of the loggia features an open truss roof centered on an elaborate wrought-metal lantern embellished with metal roses. On the north elevation, a shallow one-story projection capped by shed roofs extends most of the length of the elevation. At its centerpoint, the one-story wing sheltering a projection booth rises to full height of the elevation. The south elevation is t-shaped in configuration with the slightly projecting auditorium flanked on either side by recessed elements. At the west end of the elevation a set of stairs leads up to a porch that shelters one of the auditorium's exits. Fenestration consists of wood-frame, sash windows on the principal elevation and rectangular,

multi-light windows at the basement level. In 1981 a one-story wing housing a conference room was built off the west elevation in 1954, which features basement-level windows at the south end of the elevation. The Phase 1 HSSR determined that Fleischmann Auditorium, excluding additions made after 1945, is a significant resource for the purposes of environmental review.

### **6.1.2 Education Building (Hoffmann Loggia, Seismograph Building, and Junior Department) (1922-2001)**

Located across a narrow walkway from the south elevation of Fleischmann Auditorium, the one-story Education Building has an irregular footprint (see Figures 28 -29). The masonry and wood-frame building is capped by a complex roof made up of a number of flat and shed-roofed elements sheathed in terra cotta tiles. Fenestration is composed of a combination of fixed light and casement windows (Figures 28 -29). The original wing of the building was built in 1926 to house a seismograph. In 1932 an addition, named in honor of Ralph Hoffmann, was added to the building's east elevation. Capped by a side gable roof, the wing features arched openings fitted with removable screens and glazing that extends around all four sides. In 1939 a rectangular addition, housing two classrooms, was made to the rear (west) end of the building. In 1952, a loggia linking the building to the former Geology Hall was built off the east elevation. In 1995, a small water feature was added to the south side of the façade. The last alteration was made in 2001 when the kitchen, located at the southeast corner of the building, was remodeled. The Phase 1 HSSR determined that the Education Building was not a significant resource for the purposes of environmental review. Tables listing of the Museum property's non-character-defining buildings structures and features are found in Table 3 -5 at the end of Section 6.

### **6.1.3 Farrand Hall (Junior Auditorium) (1961)**

Built in 1961, Farrand Hall was designed by the firm of Cooke and Schmandt. With its flat roof, concrete block walls and lack of architectural ornamentation, the one-story building is a reductive interpretation of postwar Modernist architecture (Figure 30). Originally, the building functioned as the auditorium for the Junior (Education) Department. The Phase 1 HSSR determined that Farrand Hall is not a significant resource for the purposes of environmental review.

### **6.1.4 Alice Touhy Planetarium, Docent Library and Offices (former Gladwin Planetarium and Koefod Library) (1957-1993)**

As it exists today this building has three distinct components, a small library built in 1956, a planetarium constructed in 1957 (the former Gladwin Planetarium) and a two-story wing constructed in 1993 (Figure 31). Built in 1956, the one -story Docent Library (former Koefod Library) was located to the southwest of the Main Museum Complex, near the north bank of Mission Creek, and named in honor of Hilmar Koefod, a former member of the Museum's Board of Trustees. Capped by a side gable roof, this modest wood-framed building originally featured a wrought-iron screen decorated with owls (this screen now functions as an entrance gate for the Museum). A year later, in 1957, the Gladwin Planetarium (now the Alice Touhy Planetarium) was built just to the southwest of the Docent Library. With its pyramidal roof covered in c-shaped terra cotta tiles and plastered walls, the building's architectural scheme is a more schematic

interpretation of the Museum complex's prewar Spanish Colonial Revival-style buildings. In 1989, a second-floor addition, housing additional exhibition space for the planetarium on the first floor and offices on the second floor, was added to the Docent Library. The Phase 1 HSSR determined that the Alice Touhy Planetarium, Docent Library and Offices (former Gladwin Planetarium and Koefod Library) are not significant resources for the purposes of environmental review.

#### **6.1.5 Collections and Research Center (formerly the Hale-Rett Building)**

Located to the west of the Main Museum Complex, the Collections and Research Center is composed of two distinct elements, a one-story building designed in 1962 by the architectural firm of Arendt, Moser and Grant and a large, two-story addition designed by the firm of Edwards-Pitman in 1989 (Figure 32). Originally, the one-story, reinforced-concrete-block building was built to accommodate the zoology department. Capped by a flat roof and surrounded by a solid parapet, the building's architectural scheme employed Modernist detailing, including masonry screens, ribbon windows, flush panel doors and stuccoed canopies over ribbon windows that mimicked the design of a projecting ledge that ran beneath the ribbon windows. Initially, the north elevation of the building featured a centrally placed bay door. Its interior was symmetrical in design, with a central workroom flanked on the east and west by laboratories and offices. A central corridor, bounded on either side by storage rooms, extends through the building to a large bay door set at the center of the north elevation. Sometime after its construction the building was named the Hale-Rett Building in honor of Clinton B. Hale, a Museum trustee and benefactor, and Egmont Rett, the longtime curator of the Zoology Department.

In 1989, the building underwent a major expansion to create the Collections and Research Center to house the Museum's vertebrate zoology, invertebrate zoology and anthropology departments. The addition's architectural scheme drew its stylistic references from the Spanish Colonial Revival style of the Museum's prewar buildings, including the use of arcades, tiled roofs and multi-light windows. As part of this scheme a two-story wing, designed in the Mediterranean style, was built off the north end of the existing Hale-Rett building, and the exterior of the Hale-Rett wing was remodeled in a vaguely Mediterranean style. Changes included the removal of the concrete-block screens and other architectural details. The Phase 1 HSSR determined that the Collections and Research Center is not a significant resource for the purposes of environmental review.

#### **6.1.6 Doris Fay Palmer Observatory**

The Doris Fay Palmer Observatory, which is located just to the east of the Collections and Research Center, was designed by the architectural firm of Arendt, Mosher and Grant. Completed in 1967, the circular, concrete-block building is capped by a flat roof with a partially retractable dome at its center (Figure 33). A set of flush panel doors, whose door knobs are ornamented with the signs of the zodiac, is set on the east side of the building. On its south side a low wall of randomly set sandstone surrounds a small circular terrace. A wood bench, extending around the inner wall, provides seating for lectures. The Phase 1 HSSR determined that the Doris Fay Palmer Observatory is not a significant resource for the purposes of environmental review.

### **6.1.7 Broder Building (formerly the Animal Shelter and Nature Center)**

Built in the 1950s as an animal shelter, the Broder Building originally featured concrete block walls, plexi-glass glazing and a side gabled roof. The building was flanked on its east by a small octagonal bird aviary. The animal shelter was remodeled into classroom space in 1984 by the architect S. Robert Bronfen. Bronfen's scheme with its stucco walls, side gable roof covered in terra cotta tiles and porch is in the Mediterranean style (Figure 34). Subsequently, the building was renamed the Nature Center. The Phase 1 HSSR determined that the Broder Building is not a significant resource for the purposes of environmental review.

### **6.2 Landscaping and Hardscape Adjacent to the Main Museum Complex**

At the time the Santa Barbara Museum of Natural History was first built, the property between Puesta del Sol and Mission Creek was part of the Hazard Estate. Improvements to the property included a two-story carriage house located at the intersection of Puesta del Sol and Mission Canyon Road and an imposing sandstone wall that extended the length of Puesta del Sol from the stone bridge located near the northwest corner of the intersection of Mountain Drive and Mission Canyon Road to what is now the northwest corner of Fleischmann Auditorium (Figures 35 – 40). The wall is built of roughly dressed, rectangular sandstone blocks capped by serrated fragments of undressed sandstone. On the north side of Puesta del Sol were a number of single-family residences, including what are now the Director's House (653 Mission Canyon Road) and the Morehouse Residence (2560 Puesta del Sol). To the west of the Hazard property was the Sherman Rogers House (now known as MacVeagh House). A narrow lane named Sycamore Road, in the approximate location of the whale skeleton located off the north elevation of Fleischmann Auditorium, once extended from Puesta del Sol to the Rogers house. A large, two-story house, once located at the east end of the Museum's parking lot, was demolished sometime after 1961.

In 1922, after the initial construction of the Museum, some effort was made to landscape its grounds. Comprised at that time of a relatively small parcel, it did not include the carriage house property or the future site of the Bird Habitat Hall or Gould Indian Hall. Beneath native oak trees a succulent garden was planted between the Museum's north elevation and the stone wall along Puesta del Sol. Along the south elevation another succulent garden was planted, which was linked to Mission Creek by pathways and a series of sandstone steps. The remainder of the property was essentially left in a natural state with native oaks set among sandstone boulders. At some point the banks of Mission Creek were partially lined with sandstone retaining walls, and while there is no documentation regarding the construction date of this feature, it is likely that the creekside retaining walls were constructed when Luria Hall and the Administration Wing were built off the rear of the original Museum building in 1934.

As the Museum's physical plant grew during the 1920s and 1930s, alterations were made to the landscaping, some of which has been attributed to Lockwood de Forest, Jr., but what precisely he contributed is unknown as only a single, undated sheet relating to the Museum's landscaping is archived at the University of California, Berkeley. While the garden's extensive use of native plants and succulents is characteristic of many of de Forest's landscape projects, a 1931 article written by Ralph Hoffmann does not mention de Forest as a contributor to the Museum's

landscape design. For the most part the surrounding grounds continued to retain the semi-naturalistic scheme first initiated when the Museum was founded. One exception was the central courtyard, where the original landscape scheme, featuring native oaks, boulders and sandstone paving, was transformed into a somewhat more formal space by raising the floor level with reset sandstone pavers and narrow planter beds lined with sandstone coping. While the native oaks were retained, additional plantings of non-native plants, including shade-loving plants, were added on either side of the main entrance on Puesta del Sol and at the rear of the building where a series of steps lead down to the creek from the back of the Mammal Hall (Figure 41 and see Figures 12 -13). Shortly after the courtyard was completed a memorial plaque to Rowland Hazard was inset into the courtyard's wall on the south elevation (see Figure 24). By the later 1930s, in a continuation of the courtyard's increasing formality, the Hazard Memorial plaque had been embellished with stone columns and antique glazed terra cotta tiles (the tiles are still in place, while the columns have been removed).

Other significant alterations to the Museum property occurred during the early-to-mid-1930s when the roadbed of Puesta del Sol was raised approximately two feet, and a series of sandstone boulders that extended along the north side of the wall were removed and the area paved with asphalt for parking. During the same period the Coggeshall Bowl was constructed against the hillside on the south side of Mission Creek (Figure 42). A wood bridge, located to the southeast of the library, provided access to the Coggeshall Bowl and the south bank of Mission Creek. The building of new facilities between the late 1930s through the 1960s resulted in the removal of some of the oak trees and boulders between the Museum, Mission Creek and the MacVeagh property and the construction of sandstone block retaining walls in the creek bed (Figure 43). The area immediately to the south of the Main Museum Complex and the pedestrian walkway that extended from Fleischmann Auditorium were paved with asphalt sometime between the 1940s and early 1950s. This resulted in the removal of part of the succulent garden located behind the library. Since the late 1990s the area to the south of Mission Creek has been re-landscaped with native and introduced plants.

The acquisition of additional property, including the parcel encompassing the MacVeagh House and cottage, in 1960-1961, allowed the Museum to construct a more commodious parking area to the northwest of the Museum. While the installation of the parking area (it appears that the parking area was initially unpaved) required the removal of smaller trees and shrubs, larger oak trees were retained. Following the acquisition of the MacVeagh property the majority of its introduced plants, such as Magnolia trees, Eucalyptus, pines and citrus, were either removed or allowed to die-off. Since the 1980s the area on the east and north elevations of the MacVeagh House has been informally landscaped with non-native plants and hardscape features such as benches, hard-surface paths and paving. The Phase 1 HSSR determined that the former Hazard Estate Wall, which was designated a City of Santa Barbara Structure of Merit in 1981, was the only significant element of the Museum property's landscaping for the purposes of environmental review.

### **6.3 Non-Institutional Buildings**

This section of the report includes historical information and descriptions of residential or quasi-residential buildings now owned by the Museum. These buildings, which pre-date the initial

construction of the Museum in 1922, include the Director's House at 653 Mission Canyon Road (former Herman Eddy House), the barn/house at 2556 Puesta del Sol, the Morehouse Residence at 2560 Puesta del Sol, the cottage at 2564 Puesta del Sol (California Bungalow), the MacVeagh House, the cottage associated with the MacVeagh House at 2565 Puesta del Sol, and the Western Residence, located to the west of the MacVeagh House at 2758 Las Encinas Road. While none of these buildings is within the Museum's current project area, descriptions of these resources are included since some of them are contributors to a significant cultural landscape identified in the Phase 1 HSSR. Tables listing of the Museum property's non-character-defining buildings structures and features are found in Table 3 -5 at the end of Section 6.

### **6.3.1 The Director's House at 653 Mission Canyon Road (outside of the project area)**

Located on the north side of Puesta del Sol the one-story, wood frame, shingle-clad, Craftsman-style Director's House was built in circa 1903-1905 by Samuel Ilsey for Herman H. Eddy, a Santa Barbara banker (Figure 44).

The property's ancillary building consists of a small, board-and-batten sided garage located near the northwest corner of the parcel. A Phase 1 HSSR prepared in 2011 for a rehabilitation project determined that the Director's House was a significant historic resource for the purposes of environmental review (Post/Hazeltine Associates 2011). This building is a contributor to the significant cultural landscape identified in the Phase 1 HSSR.

### **6.3.2 The Building at 2539 Puesta del Sol (Hazard Carriage House)**

A two-story, stone and wood framed building is located on the southwest corner of the intersection of Puesta del Sol and Mission Canyon Road. Built sometime after 1898, the building originally functioned as a carriage house for members of the Hazard family. Random coursed sandstone blocks comprise its first floor (Figure 45). Decorative wood corbels embellish the base of the projecting second floor's shingled walls. The building is capped by a low-pitched, hipped roof covered in composition shingles. The Phase 1 HSSR determined that the Hazard Carriage House is a significant historic resource for the purposes of environmental review. This building is a contributor to the significant cultural landscape identified in the Phase 1 HSSR.

### **6.3.3 The Building at 2556 Puesta del Sol (Barn/House) (outside of the project area)**

Built before 1898, this two-story, wood-frame building originally functioned as a barn or stable. The conversion of the barn into a residence significantly impacted its integrity of design and materials. The Phase 1 HSSR determined that the building at 2556 Puesta del Sol is not a significant historic resource for the purposes of environmental review and is not a significant contributor to the significant cultural landscape identified in the Phase 1 HSSR.

### **6.3.4 The Buildings and Feature at 2560 Puesta del Sol (Morehouse Residence, Garage and Wall) (outside of the project area)**

#### Morehouse Residence

Located on the north side of Puesta del Sol, this parcel is a corner lot whose street frontage is delineated by a sandstone block cobble wall (Figures 46 - 48). A one-and-a-half story National Folk-style house and vernacular type garage are located on the property (Figures 46- 48). The Phase 1 HSSR determined that the Morehouse Residence, garage and boundary wall are significant historic resources for the purposes of environmental review and are contributors to the significant cultural landscape identified in the Phase 1 HSSR.

### **6.3.5 The Building at 2564 Puesta del Sol (California Bungalow) (outside of the project area)**

Set on a post-and-pier foundation, this one-story wood-frame cottage, built between circa-1915 and 1925, is located to the north of 2560 Puesta del Sol. The Phase 1 HSSR determined that the cottage (California Bungalow) at 2564 Puesta Del Sol is not a significant historic resource for the purposes of environmental review and is not a contributor to the significant cultural landscape.

### **6.3.6 The Buildings at 2565 Puesta del Sol (MacVeagh House and Cottage Associated with the MacVeagh House)**

The MacVeagh House, located to the west of the Museum's Collections and Research Center, is a wood-framed house clad in a combination of vertical board siding, shiplap siding and wood shingles (Figures 49 - 57). The house's complex footprint is composed of four distinct elements surrounding a courtyard (see Appendix A, Sheet AD1.11). The house's original wing, a small, one-story house that presently forms a wing that projects off the northeast corner of the main two-story block, was built sometime before 1888. Several features of the original house, including its vertical emphasis, steeply pitched roof, narrow windows and horizontal siding, identify it as an example of the Folk Victorian style. The architect of a late 19th-century, Arts and Crafts-style addition to the house is unknown. It is possible that Samuel Ilsley, who designed Glendessary for the Sherman Rogers family, may have played a role in its design (Ilsley was a friend of both the Rogers and MacVeagh families).

Architecturally, the most distinctive element of the house is its two-story block, capped by a triple gable roof. With its picturesque roof, combination of horizontal shiplap and shingled siding, cobblestone terrace walls and slightly projecting second floor supported by over-scaled corbels, this wing of the house conflates elements of the Arts and Crafts and Shingle styles. A smaller wing projects from the southeast corner of the two-story block. It is capped by a steeply pitched front gable roof. The building is sheathed in a variety of wood cladding types including tongue and groove, shingle and shiplap-style siding. The original one-story wing of the house is clad in narrow, horizontal, tongue-and-groove siding while the two-story wing is covered in shiplap siding with its first floor sheathed in wood shingles. The one-story wing that composes the south end of the east elevation is clad in vertical tongue-and-groove siding, while the courtyard features a mix of tongue-and-groove and vertical board siding types on the first floor and shingles on the second floor. Fenestration is composed of a combination of two-over-two, wood sash windows on the

east, west and south elevations and six-over-one and nine-over-one, wood sash windows on the north elevation. The gable peak on the east elevation is sheathed in wood shingles. At the southeast corner of the house a small wing, capped by a complex roof with shed and gable elements, projects off the house's main two-story block. Sheathed in a combination of shiplap and vertical board siding, this wing's fenestration is composed of single-light, six-over-six and six-over-one wood frame windows. An elevated porch extends along the west side of the courtyard. A Phase 1-2 HSSR prepared in 2009 determined the building is a significant historic resource for the purpose of environmental review (Post/Hazeltine Associates 2009). MacVeagh House is a contributor to the significant cultural landscape.

#### The Cottage Associated with the MacVeagh House

The cottage associated with the MacVeagh House is a one-story, wood-framed house set on a raised foundation (Figures 58 - 61). Its exterior is clad in narrow, horizontal tongue-and-groove siding. Fenestration is composed of rectangular, wood-framed sash windows of varying dimension. The cottage is capped by a hipped roof covered in composition shingles. The wood-paneled front door is located on the east elevation. Small additions, capped by shed roofs, are located on the north and west elevations. A Phase 1-2 HSSR prepared in 2011 determined the building was a significant historic resource for the purpose of environmental review (Post/Hazeltine Associates 2011). MacVeagh Cottage is a contributor to the significant cultural landscape.

#### **6.3.7 Western Residence at 2758 Las Encinas Road (former Hoffmann Estate Garage)**

A small house, currently known as the Western Residence, located on Parcel 1 at 2758 Las Encinas Road (APN 23-025-066), was originally built in circa- 1920-1922 as a one-bay garage for Guest House #2 associated with the former Bernhard Hoffmann Estate (Figure 62). The garage was enlarged by circa-1930 into a three-bay structure with a small, attached dwelling space. The building was subsequently transformed into a house sometime in the 1950s when several additions were made. Sometime in the 1970s the garage bays were transformed into habitable space. The architecturally significant element of the building is confined to the original one-bay garage, which has been almost entirely encapsulated by later additions. The Phase 1 HSSR determined that the original one-bay garage of this building is a significant historic resource for the purposes of environmental review. The building is a contributor to the significant cultural landscape.

#### **6.3.8 Cultural Landscape**

The Phase I HSSR identified a potential significant cultural landscape at the south end of Mission Canyon; its contributing resources are listed below (see Figure 4). The significance of this landscape is derived from its concentration of natural features and vegetation and its inventory of significant historic resources dating from the late 18<sup>th</sup> century through the late 1930s, which range from Mission Santa Barbara and its waterworks to the Santa Barbara Museum of Natural History. Within the project area the streetscape along the 2500 block of Puesta del Sol is a significant contributor to the cultural landscape.

## **Contributors:**

### 1) Natural Systems and Features:

- a) Mission Creek;
- b) Steep slope south of Mission Creek (most of which is not on SBMNH property);
- c) Overall pattern of sandstone outcrops.

### 2) Spatial Organization and Existing Patterns of Land Use:

- a) Overall pattern of native vegetation, especially oaks and sycamores, which represents, primarily, a regenerated woodland. This is mixed with non-native vegetation;
- b) Semi-rural pattern of vegetation interspersed with residential and institutional buildings.

### 3) Circulation:

- a) The existing circulation pattern of paved streets and the lack of paved sidewalks, especially around the residences on Mission Canyon Road and Puesta del Sol.

### 4) Structures and Features (not on Museum-owned parcels):

- a) Garden Street Academy (former Saint Anthony's Seminary);
- b) Mission Santa Barbara and its waterworks;
- c) Order of the Holy Cross (former St. Mary's Retreat House);
- d) Stone Bridge;
- e) The house and wall at 609 Mission Canyon Road;
- f) Wall on Mission Canyon Road: A cut sandstone wall extending from the north end of the stone bridge to the intersection of Mission Canyon Road and Puesta del Sol;
- g) Rocky Nook Park;
- h) Oliver Memorial Trough (northeast corner of the intersection of Mountain Drive and Mission Canyon Road);
- i) The Santa Barbara Women's Club (670 Mission Canyon Road);
- j) Santa Barbara Museum of Natural History property, overall landscape;
- k) Santa Barbara Museum of Natural History (elements determined to be significant historic resources listed in Table 1);
- l) Stone walls (former Hazard Estate) built sometime after 1898 that define the south side of the 2500 block of Puesta del Sol. A less substantial stone wall partially surrounds the Morehouse Residence at the west end of Puesta del Sol;
- m) Streetscape on the 2500 block of Puesta del Sol and Mission Canyon Road.

### 5) Views and Vistas:

- a) The views and vista from the SBMNH property towards the former St. Anthony's Seminary;
- b) View towards "Dial House" and "Mission Hill" to and from the SBMNH property.

## **Non-Contributors:**

- a) Existing lighting;
- b) Asphalt paving;
- c) Buildings, structures and features outlined in Table 1, Appendix C, as not eligible for listing as

- significant historic resources on the SBMNH property;
- d) Whale Skeleton on the SBMNH property;
- e) Non-native landscaping.

### **Identification of a Significant Cultural Landscape and Streetscape**

A potential significant cultural landscape has been identified for the south end of Mission Canyon; its resources are listed above in Section 7.8. The significance of this landscape is derived from its concentration of natural features and vegetation and its inventory of significant historic resources dating from the late 18<sup>th</sup> century through the late 1930s, which range from Mission Santa Barbara and its waterworks to the Santa Barbara Museum of Natural History. Within the project area the streetscape along the 2500 block of Puesta del Sol is a significant contributor.

(see Table 3, next page)

<b>Table 3:</b>					
<b>Table 3: Evaluated Resources (2011)</b>	<b>Listed Historic Resource</b>	<b>Eligible: City of Santa Barbara Landmark</b>	<b>Eligible: City of Santa Barbara Structure of Merit (SOM)</b>	<b>Eligible for listing in the California Register of Historic Resources</b>	<b>Eligible for listing in the National Register of Historic Places</b>
<b>2559 Puesta del Sol Road (Main Museum Building)</b>					
1922 wing	SOM	Eligible	n.a.	Eligible	Eligible
Gould Indian Hall	SOM (excluding addition to south and west elevations)	(excluding addition to south and west elevations)	n.a.	Eligible (excluding additions to south and west elevations)	Eligible (excluding additions to south and west elevations)
Botany Hall	SOM (excluding additions on east and west elevations)	Eligible (excluding additions on south elevation)	n.a.	Eligible (excluding additions on south elevation)	Eligible (excluding additions on south elevation)
Fleischmann Mammal Hall	SOM (excluding additions on west elevation)	Eligible (excluding additions on north and west elevations)	n.a.	Eligible (excluding additions on north and west elevations)	Eligible (excluding additions on north and west elevations)
Library	SOM (excluding additions to north, south and east elevations)	Eligible (excluding additions to north, south and east elevations)	Eligible (excluding additions to north, south and east elevations)	Eligible (excluding additions to north, south and east elevations)	Eligible (excluding additions to north, south and east elevations)
Local Birds Hall	SOM (excluding additions to east and west elevations)		Eligible (excluding additions to east and west elevations)	Eligible (excluding additions to east and west elevations)	Eligible (excluding additions to east and west elevations)
Administration wing (Reserve Collections Bldg.)	Eligible	Eligible	Eligible	Eligible	Eligible
See next page					

<b>Table 3:</b>					
<b>Table 3: Evaluated Resources (2011)</b>	<b>Listed Historic Resource</b>	<b>Eligible: City of Santa Barbara Landmark</b>	<b>Eligible: City of Santa Barbara Structure of Merit (SOM)</b>	<b>Eligible for listing in the California Register of Historic Resources</b>	<b>Eligible for listing in the National Register of Historic Places</b>
Marine/Paleontology/Geology Hall	Not eligible	Not eligible	Not eligible	Not eligible	Not eligible
Bird Habitat Hall	Not eligible	Not eligible	Not eligible	Not eligible	Not eligible
<b>2559 Puesta del Sol Road (Main Museum Complex)</b>					
Farrand Auditorium	Not eligible	Not eligible	Not eligible	Not eligible	
<b>2559 Puesta del Sol Road (Main Museum Building)</b>					
<b>Education Building</b>					
Seismograph Building	Not eligible	Not eligible	Not eligible	Not eligible	Not eligible
Hoffmann Loggia	Not eligible	Not eligible	Not eligible	Not eligible	Not eligible
Additions to Education Bldg. (including kitchen wing)	Not eligible	Not eligible	Not eligible	Not eligible	Not eligible
<b>Koefod Library</b>	Not eligible	Not eligible	Not eligible	Not eligible	Not eligible
<b>Alice Touhy Planetarium</b>	Not eligible	Not eligible	Not eligible	Not eligible	Not eligible
<b>Collections and Research Center</b>	Not eligible	Not eligible	Not eligible	Not eligible	Not eligible
<b>Doris Fay Palmer Observatory</b>	Not eligible	Not eligible	Not eligible	Not eligible	Not eligible
<b>Other Museum-Owned Buildings</b>					
653 Mission Cyn. Rd. (Director's House)	Eligible	Eligible	Eligible	Eligible	Eligible
2539-2559 Puesta del Sol (Hazard estate wall)	Eligible	Eligible	Eligible	Eligible	Eligible
2556 Puesta del Sol (House)	Not eligible	Not eligible	Not eligible	Not eligible	Not eligible
2560 Puesta del Sol (Morehouse residence)	Eligible	Not eligible	Not eligible	Not eligible	Not eligible
See next page					

<b>Table 3:</b>					
<b>Table 3: Evaluated Resources (2011)</b>	<b>Listed Historic Resource</b>	<b>Eligible: City of Santa Barbara Landmark</b>	<b>Eligible: City of Santa Barbara Structure of Merit (SOM)</b>	<b>Eligible for listing in the California Register of Historic Resources</b>	<b>Eligible for listing in the National Register of Historic Places</b>
2565 Puesta del Sol MacVeagh House and Cottage	Eligible	Eligible	Eligible	Eligible	Eligible

<b>Table 4: (The following Elements of the Main Museum Building at the Santa Barbara Museum of Natural History do not contribute to the historic character of the Resource)</b>		
<b>Building Element</b>	<b>Date</b>	<b>Architect</b>
<b>2559 Puesta del Sol Road</b>		
<b>Resource</b>	<b>Date</b>	<b>Architect/Designer</b>
Bathroom addition to the west elevation of Gould Indian Hall	1952 subsequently remodeled in the 1990s	Chester Carjola
Marine/Geology Halls (southwest corner of main museum building)	1952	Chester Carjola
Bird Habitats Hall	1961	Chester Carjola
Small addition to southwest corner of Cartwright Interactions Hall (Botany Hall)	1960s	Unknown
Addition to rear of Library	1960s?	Chester Carjola?
Addition on west elevation of Fleischmann Auditorium	1979	Edwards and Pitman
John and Peggy Maximus Gallery, southeast corner of main museum building	1994	Edwards and Pitman

**Table 5: (The following Freestanding Non-Residential Buildings and Features of the Main Museum Complex at the Santa Barbara Museum of Natural History do not contribute to the historic character of the property or surrounding cultural landscape)**

<b>Building Element</b>	<b>Date</b>	<b>Architect</b>
<b>2559 Puesta del Sol Road</b>		
<b>Resource</b>	<b>Date</b>	<b>Architect/Designer</b>
Education Building	1926-1962	Carleton Winslow, Chester Carjola and others
Koefod Library	1956-1993	Robert Bronfen and others
Alice Touhy Planetarium	1957-1993	Remodeled by Robert Bronfen
Broder Building	1940s, remodeled in 1984	Remodeled by Robert Bronfen
Bridges over Mission Creek	Original bridge constructed in 1945 has been replaced	unknown
Whale Skeleton	Installed in 1984	

## **7.0 PERIOD OF SIGNIFICANCE**

### **7.1 The Resources' Period of Historic Significance and Historic Themes**

The Phase 1 Historic Structures/Sites Report prepared by Post/Hazeltine Associates in 2011 identified the following periods of significance and historic themes for significant resources:

### **7.2 The Property at 2559 Puesta del Sol (Main Museum Complex)**

The Santa Barbara Museum of Natural History's Main Museum Complex includes the original 1922 Wing, Gould Indian Hall, Cartwright Hall (the former Botany Hall), the Mammal Hall, the Library, the Bird Habitats Hall, the Marine and Paleontology/Geology halls, the Administration Wing, the Luria Hall and Fleischmann Auditorium. The Museum's architectural period of significance encompasses the period between 1922 and 1945. It was during this period that the Museum established itself as an important regional natural history museum and implemented a uniform architectural program for its buildings, designing them in the Spanish Colonial Revival style.

### **7.3 The Property at 653 Mission Canyon Road (Director's House, former Eddy House) (outside of the project area)**

The period of significance for the Director's House (former Herman Eddy House) is circa-1903 to 1934, the occupancy of the Herman Eddy family.

### **7.4 The Property at 2539 Puesta del Sol (Hazard Carriage House and Wall)**

The period of significance for the Hazard Carriage House and wall is circa-1898-1945,

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encompassing the period when the Hazard family initially built the carriage house and wall and the death of Caroline Hazard in 1945. It should be noted that a portion of the wall extends west onto the property at 2559 Puesta del Sol (the campus for the Santa Barbara Museum of Natural History) and south onto a private property not owned by the Museum.

### **7.5 The Property at 2560 Puesta del Sol (Morehouse Residence and Garage) (outside of the project area)**

The period of significance for the Morehouse Residence is circa-1885-1898, encompassing the period during which the house was constructed. The garage, a contributing resource, was built in the early 20th century.

### **7.6 The Property at 2565 Puesta del Sol (MacVeagh House and Cottage Associated with the MacVeagh House)**

The period of significance for the house and its associated cottage is 1888 to 1931, the occupancy of Sherman Rogers, his daughter Fanny Rogers MacVeagh and her husband, Charles MacVeagh.

### **7.7 The Property at 2758 Las Encinas Road (Western Residence, former Hoffmann garage)**

The period of significance for the Western residence is 1929 to 1949, the period when the Bernhard Hoffmann family owned the property at 2758 Las Encinas Road when it was associated with the Hoffmann Estate.

### **7.8 Cultural Landscape**

The cultural landscape encompasses natural features as well as elements of the built environment dating from the late 18<sup>th</sup> century (Santa Barbara Mission) to the late 1930s.

## **8.0 ASSESSMENT OF THE IMPACTS OF PROPOSED MASTER PLAN ON SIGNIFICANT HISTORIC RESOURCES**

As noted in Section 2 of this report, the following resources located within the project area including portions of the Main Museum Building at 2559 Puesta del Sol; the Hazard Carriage House at 2539 Puesta del Sol; the Hazard Estate wall at 2539-2559 Puesta del Sol; the MacVeagh House and MacVeagh cottage at 2565 Puesta del Sol; and the original one-bay garage at the Western Residence at 2758 Las Encinas Road are significant historic resources for the purposes of CEQA review.

The following Museum-owned properties on the north side of Puesta del Sol, that are located outside of the project area including the Director's House at 653 Mission Canyon Road; the Morehouse Residence, garage and wall, at 2560 Puesta del Sol Road; the MacVeagh House and MacVeagh Cottage at 2565 Puesta del Sol Rd; and are significant historic resources for the purposes of CEQA review.

In addition to these resources the streetscape between the intersection of Puesta del Sol and Las Encinas Road is considered to be a significant historic streetscape for the purposes of CEQA review because it forms part of a significant cultural landscape encompassing natural features and the components of the built environment dating between the late 18<sup>th</sup> century and the late 1930s. Implementation of the proposed Santa Barbara Museum of Natural History's Master Plan requires evaluation since changes to the streetscape or the significant cultural landscape have the potential for impacting those qualities and attributes that make the significant historic resources identified in this report eligible for listing at the City, State or National level. Therefore, the proposed Master Plan will be evaluated to determine its potential impact to the historic resources, including the cultural landscape, identified in this report. If the proposed project is determined to have potentially significant impacts to significant historic resources, mitigation measures, designed to reduce the impact of the proposed project on significant historic resources, will be incorporated into the evaluation.

## **9.0 DETERMINING THE SIGNIFICANCE OF IMPACTS TO SIGNIFICANT HISTORIC RESOURCES**

### **9.1 Regulatory Setting**

Analysis of project impacts to significant historic resources is guided by the following:

#### City of Santa Barbara Master Environmental Assessment

Guidelines for the evaluation of potential project effects are found in Section 1.4 "Project Impact Evaluation Procedures, #10" of the City of Santa Barbara Master Environmental Assessment as follows:

*If the Historic Structures/Sites Report determines that historical structures/sites located at the proposed project site are significant historic resources, then the Historic Structures/Sites Report should include an analysis of the proposed project's potential effects on the resources. The Historic Structures/Sites Report should state the level of impact as significant and unavoidable (Class I), potentially significant unless mitigated (Class II) or less than significant (Class III). Potentially significant effects on significant historic resources are described in Section 2.3 Thresholds of Significance, Determining Significance of Impacts to Significant Historic Resources (MEA 2003: 63). In addition, potential direct, indirect and cumulative effects on overall site integrity and identified values should be considered. Effects on historic and architectural values are measured in terms of loss of exemplary or commemorative elements, structures and sites.*

*This evaluation of potential project effects on significant historic structures and/or sites should be based on overall site integrity and identified values should be considered. Effects on historic and architectural values are measures in terms of loss of exemplary or commemorative elements, structures, and sites.*

*This evaluation of potential project effects on significant historic structures and/or sites should be based on substantial information, and or should be presented in the Historic Structures/Sites Report in a well reasoned, defensible and logical manner. Conclusionary*

*statements of potential project effects on significant historic resources are insufficient (City of Santa Barbara MEA 2002: 63).*

Mitigation measures are outlined in Section 2.5 of the MEA as follows;

*In-situ* preservation is the preferred manner of avoiding damage to significant historic resources.

1. Planning construction so that demolition or alteration of structures, sites, and natural objects are not required; and
2. Incorporating existing structures, sites, and natural objects into planned development whenever avoidance is not possible (City of Santa Barbara MEA 2002: 65).

As noted in the guidelines, the appropriateness of potential mitigation measures is dependent on the type of historic resource and its degree of importance. A resource's significance is tied to its level of eligibility for listing at the local, state and national level (City of Santa Barbara MEA 2002: 66-67). The following range of potential mitigation measures are listed in the MEA:

- 1) Rehabilitation without relocation on site for use as habitable space, including compliance with all State Historic Building Code requirements. The Secretary of the Interior's Guidelines would apply to this treatment.
- 2) Preserving the historic structure on site as non-habitable space. The Secretary of the Interior's Guidelines would apply to this treatment.
- 3) Relocation and preservation of the historic structure on site for use as habitable space, including compliance with all State Historic Building Code requirements. The Secretary of the Interior's Guidelines would apply to this treatment.
- 4) Relocation and preservation of the historic structure on site for use as non-habitable space. The Secretary of the Interior's Guidelines would apply to this treatment.
- 5) Compatible incorporation of façade only of historic structure into the design of the new building on site (this treatment would not meet the Secretary of the Interior's Guidelines that would apply to this treatment).
- 6) Advertisements for acquisition and relocation of structures with its subsequent rehabilitation at its new site. The Secretary of the Interior's Guidelines would apply to this treatment.
- 7) Demolition of historic structures with recordation according to the Community Development Department's "Required Documentation Prior to Demolition" standards.
- 8) Commemoration of the demolished structure with a display of text and photograph within the new building.
- 9) Commemoration of the demolished structure with a display of text and photographs on the exterior of the new building.
- 10) Commemoration of the demolished structure with an enclosed display of texts and photographs on the perimeter of the property at the primary entrance.
- 11) Salvage of significant materials for conservation in an historical display (City of Santa Barbara MEA 2002: 66-67).

## **9.2 MEA Guidance**

The MEA includes the following under State CEQA guidance:

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Phase 2 HSSR  
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CEQA Guidelines §15126.4(b) provides the following direction relative to the development of mitigation measures for historical resources.

(1) Where maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of a historical resource will be conducted in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings (1995), Weeks and Grimmer. The project's impact on the historical resource will generally be considered mitigated below a level of significance and thus is not significant,

(2) In some circumstances, documentation of a historical resource, by the way of historic narrative, photographs or architectural drawings, as mitigation for the effects of demolition of the resource will not mitigate the effects to a point where clearly no significant effect on the environment would occur (City of Santa Barbara MEA 2002: 65).

### **9.3 CEQA Guidance**

CEQA defines direct impacts as physical impacts that are caused by the implementation of a project and occur at the same time or place. Indirect impacts are visual or contextual impacts caused by the implementation of a project that are reasonably foreseeable, but occur at a different time or place (CEQA Guidelines, Section 15064 and 15355).

#### CEQA, Section 21084.1:

Section 21084.1 of the Public Resources Code provides the framework for determining whether a property is an historic resource for CEQA purposes. Historic resources that are listed in or eligible for listing in the California Register of Historical Resources (California Register), that are per se significant other resources, that are officially designated on a local register, or that are found to be significant by the State Historic Preservation Officer (SHPO) under Section 5024.1(j) of the Public Resources Code are presumed to be significant. According to CEQA, in determining potential impacts on historical resources under CEQA, projects are reviewed according to the Secretary of the Interior's Standards (Standards) (The Standards are discussed in detail below). A "substantial adverse change" means "demolition, destruction, relocation, or alteration of the resource such that the significance of an historical resource would be materially impaired." The setting of a resource should also be taken into account in that it too may contribute to the significance of the resource, as impairment of the setting could affect the significance of a resource. Material impairment occurs when a project:

- (1) Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources; or
- (2) Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to Section 5020.1(k) of the Public Resources Code or its identification in an historical resources

survey meeting the requirements of Section 5024.1 (g) of the Public Resources Code, unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant; or

- (3) Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA.

CEQA Section 15064.5 defines historical resources as follows:

- (1) A resource listed in, or determined to be eligible by the State Historical Resources Commission, for listing in the California Register of Historical Resources Commission (State CEQA Guidelines Section 5024.1, Title 14 CCR, Section 4850 et seq.).

**There are several ways in which a resource can be listed in the California Register, which are codified under Title 14 CCR, Section 4851:**

- A resource can be listed in the California Register by the State Historical Resources Commission.
- If a resource is listed in or determined eligible for listing in the National Register of Historic Places (National Register), it is automatically listed in the California Register.
- If a resource is a California State Historical Landmark, from No. 770 onward, it is automatically listed in the California Register.

A resource included in a local register of historical resources, as defined in section 5020.1 (k) of the Public Resources Code or identified as significant in an historical resource survey meeting the requirements section 5024.1 (g) of the Public Resources Code, shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.

**The requirements set forth in PRC 5024.1(g) for historical resources surveys are:  
A resource identified as significant in an historical resource survey may be listed in the California Register if the survey meets all of the following criteria:**

- The survey has been or will be included in the State Historic Resources Inventory.
- The survey and the survey documentation were prepared in accordance with office [of Historic Preservation] procedures and requirements.
- The resource is evaluated and determined by the office [of Historic Preservation] to have a significance rating of Category 1 to 5 on DPR Form 523.
- If the survey is five or more years old at the time of its nomination for inclusion in the California Register, the survey is updated to identify historical resources which have become eligible or ineligible due to changed circumstances or further documentation and those which have been demolished or altered in a manner that substantially diminishes the significance of the resource.

Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be an historical resource, provided the lead agency's determination is supported by substantial evidence in light of the whole record.

Generally, a resource shall be considered by the lead agency to be "historically significant" if the resource meets the criteria for listing on the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4852).

The fact that a resource is not listed in, or determined to be eligible for listing in, the California Register of Historical Resources, not included in a local register of historical resources (pursuant to section 5020.1(k) of the Public Resources Code), or identified in an historical resources survey (meeting the criteria in section 5024.1(g) of the Public Resources Code) does not preclude a lead agency from determining that the resource may be an historical resource as defined in Public Resources Code sections 5020.1 (j) or 5024.1.

CEQA regulations identify the Secretary of the Interior's Standards as a measure to be used in determinations of whether or not a project or new development or rehabilitation adversely impacts an "historical resource." Section 15064.5(b) (3) states:

*Generally, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (1995), Weeks and Grimmer, shall be considered as mitigated to a level of less than a significant impact on the historical resource.*

Section 15064.5(a) (4) of the CEQA Guidelines states:

*The fact that a resource is not listed in, or determined to be eligible for listing in the California Register of Historical Resources, not included in a local register of historical resources (pursuant to Section 5020.1(k) of the Public Resources Code), or identified in an historical resources survey (meeting the criteria in Section 5024.1(g) of the Public Resources Code) does not preclude a lead agency from determining that the resource may be an historical resource as defined in Public Resources Code Sections 5020.1(j) or 5024.1.*

#### **9.4 The Secretary of the Interior's Standards for the Treatment of Historic Properties**

Evolving from the Secretary of the Interior's Standards for Historic Preservation Projects with Guidelines for Applying the Standards that were developed in 1976, the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings were published in 1995 and codified as 36 CFR 67. Neither technical nor prescriptive, these standards are "intended to promote responsible preservation practices that help protect our Nation's irreplaceable cultural resources." The Secretary of the Interior's Standards for Rehabilitation are ten basic principles created to help

preserve the distinctive character of an historic building and its site while allowing for reasonable changes to meet new needs. The Standards apply to historic buildings of all periods, styles, types, materials, and sizes. They apply to both the exterior and the interior of historic buildings. The Standards also encompass related landscape features and the building's site and environment as well as attached, adjacent, or related new construction. These Standards have been adopted, or are used informally, by many agencies at all levels of government to review projects that affect historic resources.

As noted above, CEQA regulations identify the Secretary of the Interior's Standards as a measure to be used in determinations of whether or not a project or new development or rehabilitation adversely impacts an "historical resource." The Secretary of the Interior's Standards for the Treatment of Historic Properties state (for rehabilitation):

1. A property shall be used as its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of distinctive materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features will be substantiated by documentary, physical or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Infill and redevelopment projects that could affect historic resources may be subject to review based on Standards 9 and 10 of the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, which state:

9. New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property

and its environment would be unimpaired.

Therefore, in determining the impact of a project on a "historical resource," CEQA regulations require the application of the Secretary of the Interior's Standards to the question of whether the project results in a substantial adverse change to the resource and in particular those physical characteristics or character-defining spaces and features that convey its historical significance.

CEQA Guidelines Section 15064.5(b)(3) states: Generally, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (Secretary's Standards, Weeks and Grimmer, 1995) shall be considered as mitigated to a level of less than a significant impact on the historic resource.

While compliance with the Secretary's Standards indicates that a project may have a less than significant impact on a significant historical resource, the converse of this does not hold. Failure to comply with the Secretary's Standards is not, by definition, a significant impact under CEQA. CEQA recognizes that alterations that are not consistent with the Secretary's Standards may still not result in significant impacts on the historical resource. Therefore, the significance of project impacts on an historical resource can be evaluated by determining:

- Whether a project is in conformance with the Secretary's Standards (less-than-significant impact);
- Whether a project is in substantial conformance with the Secretary's Standards and does not result in material impairment (less-than-significant impact); or
- Whether a project is not in conformance with the Secretary's Standards and results in material impairment (significant impact).

The above criteria are important not only in determining whether the project would have a significant cultural resource impact but also in considering effective mitigation and alternatives.

## **9.5 Work Plan**

The work plan will focus on an evaluation of the proposed Master Plan's impacts on the significant historic resources listed on Table 1 of this report. This will include a detailed description of proposed modifications and additions to the property and an assessment of the potential impacts the proposed project could have on significant historic resources. The level of analysis in the report is consistent with that needed to make historic resource finding for a CUP and that Historic Resource Protection Measures have been included to ensure that the final plans submitted to the City are consistent with the City's preservation guidelines including the Secretary of the Interior's Standards for the Treatment of Historic Properties. The Secretary of the Interior's Standards for the Treatment of Historic Properties developed by the Department of the Interior will guide the evaluation:

Rehabilitation is defined as: *the act or process of making possible a compatible use for a property through, repair, alterations, and additions while preserving those portions or features which*

convey its historical, cultural, or architectural values.

## **9.6 Character- and Non-Character-Defining Elements of Significant Historic Resources**

The following section of the report lists the elements of the surveyed significant historic resources that are contributors or non-contributors to the resource's historic significance.

### **9.6.1 MAIN MUSEUM COMPLEX**

**The following wings of the Main Museum Complex contribute to the historic character of the building:**

- 1922 Wing and its open courtyard and arcades;
- Gould Indian Hall (excluding post-1945 alterations);
- Cartwright Hall (former Botany Hall) (excluding post-1945 alterations);
- Library (excluding post-1945 alterations);
- Mammal Hall (excluding post-1945 alterations);
- Curatorial/Exhibits Wing (now Administration Wing) (excluding additions made after 1945);
- Local Birds Hall (now Luria Hall) (excluding additions made after 1945).

### **Identification of Character- and Non-Character-defining Elements of the Main Museum Complex:**

#### **9.6.1a 1922 Wing**

##### **North Elevation:**

Character-defining

- Footprint;
- Arched entrance, its cast-stone surround and groined vault;
- Iron gates at entrance;
- Wood, multi-light casement windows and their wood window frames;
- Wrought-iron lanterns flanking the entrance;
- Side gabled roof and its terra cotta roof tiles;
- Exterior stucco-clad walls.

##### **South Elevation:**

Non-character-defining:

- The south elevation of the 1922 Wing is completely encapsulated by later construction including the Administration Wing (1937), the Luria Hall (1934) and the former Geology Hall (1952). Consequently, the south elevation is not a character-defining elevation.

##### **East Elevation:**

Character-defining

- Northeast corner of the 1922 Wing with its arched and rectangular, wood multi-light

- windows and their wood window frames;
- The end gable roof;
- Exterior stucco-clad walls.

### **West Elevation:**

#### Character-defining

- Northwest corner of the 1922 Wing with its chimney and flanking multi-light wood windows, their wood window frames and metal grilles;
- The arched opening linking the courtyard to the corridor extending along the street elevation of Gould Indian Hall;
- Exterior stucco-clad walls.

### **9.6.1b Courtyard:**

#### Character-Defining Elements:

- Arched corridors, stucco-clad piers and their shed and flat roofs covered in terra cotta tiles that extend around all four sides of the existing patio;
- Stucco-clad walls on the interior of the courtyard;
- Arched opening at the center of the north elevation's interior wall that forms the main entrance to the Museum;
- Wall fountain inset into the wall at the center of the courtyard's south elevation;
- Wrought-iron wall sconces added after 1922 but before 1945;
- The use of paving in the central courtyard (the existing paving was re-laid to be flush with the surrounding corridors in 1992);
- Scored concrete paving in the corridors.

#### Non-Character-Defining Elements:

- The doors on the north, south and west elevations of the courtyard;
- Exhibition cases on the south wall of the courtyard's corridor.

### **9.6.1c Gould Indian Hall (1926)**

#### **North Elevation:**

#### Character-Defining Elements:

- Front gabled roof and its terra cotta tiles;
- Covered arcade and its shed roof covered in terra cotta tiles;
- The corridor's wrought-iron grilles;
- Exposed timber ceiling of the corridor;
- Doors opening into Gould Indian Hall;
- Scored concrete paving;
- Stucco-clad exterior walls;
- Wrought-iron wall sconces added before 1945.

#### Non-Character-Defining Elements:

- Single door and its surrounding wall located to the east of the double doors (this section of

the wall was originally recessed and sheltered a secondary entrance into Gould Indian Hall; the original roof beam can still be seen above the present door).

### **South Elevation:**

#### Non-Character-Defining Elements:

- The entire south elevation of Gould Indian Hall encapsulated by the Geology Wing, built in 1952. Consequently, it is not a character-defining elevation.

### **East Elevation:**

#### Non-Character-Defining Elements:

- The east elevation is entirely encapsulated by the 1922 wing. Consequently, it is not a character-defining elevation.

### **West Elevation:**

#### Character-Defining Elements:

- The west elevation is almost entirely encapsulated by a small addition housing restrooms that was constructed in 1952. Its character-defining elements are confined to the cornice line and gable roof covered in terra cotta tiles.

#### Non-Character-Defining Elements:

- Restroom wing constructed in 1952 and remodeled in 1995 and its tiled water fountain.

## **9.6.1d Cartwright Hall (former Botany Hall) (1927)**

### **North Elevation**

#### Character-Defining Elements:

- Front gable roof and its roof covered in terra cotta tiles;
- Arcade, its shed roof, tiled roof and piers;
- Opening for the entrance doors at the center of the elevation;
- Wall sconces and pendant lights;
- Stucco-clad exterior walls;
- Tiled water fountain;
- Wall sconces, which may date before 1945;
- The arcade's scored concrete paving.

#### Non-Character-Defining Elements:

- Glazed entrance doors;
- Wall infilling the arch directly opposite the entrance doors and its tiled plaque (this wall was installed sometime after the late 1930s and was not part of the original architectural scheme).

### **South Elevation**

#### Character-Defining Elements:

- The apsidal roof and its roof covered in terra cotta tiles;
- The one-story wing flanking the east side of the apse;
- Stucco-clad walls.

Non-Character-Defining Elements:

- Addition at the southwest corner of the building.

**East Elevation**

Character-Defining Elements:

- The south end of the east elevation, including the one-story wing that housed the herbarium;
- Tile apsidal roof covered in terra cotta tiles;
- Stucco-clad walls.

Non-Character-Defining Elements:

- The west end of the shed-roofed porch that abuts the former herbarium wing.

**West Elevation**

Character-Defining Elements:

- That portion of the west elevation that comprises the upper portion of the apse and its tiled roof.

Non-Character-Defining Elements:

- The one-story addition that abuts the first floor of the apse.

**9.6.1e Mammal Hall (1927)**

**North Elevation**

Character-Defining Elements:

- The gable end and its roof covered in terra cotta tiles;
- The exterior wall covered in stucco;
- The arcade added in 1961 (while this element postdates the period of significance, it was included in the City of Santa Barbara's 1981 designation of part of the Museum as a Structure of Merit).

Non-Character-Defining Elements:

- Existing lighting.

**South Elevation**

Character-Defining Elements:

- End gable and its tiled roof;
- The exterior stucco walls;
- East end of the shed-roofed porch;
- The exterior door opening.

Non-Character-Defining Elements:

- The west end of the porch;
- The existing door.

## **West Elevation**

### Character-Defining Elements:

- The exterior stucco-clad wall;
- The second floor gable end, its decorative embellishments and tiled roof;
- The arcade that was added in 1961 (while this element postdates the period of significance, it is, as a contributing element to the Main Museum Complex, a part of the City of Santa Barbara's 1981 designation as a Structure of Merit);
- Scored concrete floor.

## **9.6.1f LIBRARY (1929)**

### **North Elevation**

#### Character-Defining Elements:

- The front gabled element and tiled roof and chimney that extend above the roof line of the Bird Habitats Hall.

### **South Elevation**

#### Character-Defining Elements:

- The west end of the shed-roofed wing and its stucco-clad walls and tiled roof.

### **East Elevation**

#### Character-Defining Elements:

- The exposed portion of the east elevation, its stucco-clad walls, door opening and tiled roof.

#### Non-Character-Defining Elements:

- The existing door opening into the library;
- The east end of the existing porch.

### **West Elevation**

#### Character-Defining Elements:

- The west end of the shed-roofed wing and its stucco-clad walls and tiled roof.

#### Non-Character-Defining Elements:

- The east end of the one-story shed-roofed wing that extends off the rear of the library.

## **9.6.1g ADMINISTRATION WING (1934)**

### **North Elevation**

#### Character-Defining Elements:

- Side gable roof and its terra cotta tiles;
- Exterior wall and its stucco cladding;
- Multi-light wood casement windows and frames.

#### Non-Character-Defining Elements:

- Flush panel door.

## **South Elevation**

### Character-Defining Elements:

- Side gabled roof and its terra cotta tiles;
- Exterior wall and its stucco cladding;
- Multi-light wood casement windows, French doors and frames;
- Wood porch (while not depicted on the original drawings, this element was in place by 1934);

### Non-Character-Defining Elements:

- Metal grilles over windows;
- Pair of flush panel doors at the center of the basement level.

## **East Elevation**

### Character-Defining Elements:

- End gable roof and its terra cotta tiles;
- Side gabled roof and its terra cotta tiles;
- Cornice;
- Exterior walls and their stucco cladding;
- The three, double, six-light wood casement windows, triple casement windows and their frames on the recessed portion of the elevation;
- The four pairs of double-light wood casement windows and their frames on the projecting end gable;
- The vent at the gable peak.

### Non-Character-Defining Elements:

- Metal grilles over windows;
- Boxed window opening at the basement level of the projecting wing.

## **West Elevation**

- The wing does not have a west elevation.

## **9.6.1h LURIA HALL (former Local Birds Hall) (1934)**

## **North Elevation**

### Character-Defining Elements:

- End gable of roof and its terra cotta tiles;
- Stucco-clad exterior wall and cornice;
- Circular cast-stone vent.

## **South Elevation**

### Character-Defining Elements:

- Side gabled roof and its terra cotta tiles;
- Exterior wall, its stucco cladding and cornice;
- Circular vent and its cast-stone surround;
- Narrow windows, their wood surrounds and solid wood doors (main floor);

- Wrought-metal balconies;
- The window openings (one sealed over) at the basement level (boxed window opening contains fire hose reel);
- Multi-light wood casement windows and their wood frames.

Non-Character-Defining Elements:

- Addition off the east end of the basement level.

**East Elevation**

Character-Defining Elements:

- Side gabled roof and its terra cotta tiles;
- Exterior wall and its stucco cladding (south end of the elevation);
- Arched multi-light wood frame windows.

Non-Character-Defining Elements:

- One-story addition off the south end of the basement level.

**West Elevation**

Character-Defining Elements:

- The west elevation is encapsulated by the former Geology Hall built in 1952. The character-defining element is the exposed portion of the elevation confined to the cornice and the tile-clad roof.

**9.6.1i FLEISCHMANN AUDITORIUM (1937)**

**North Elevation**

Character-Defining Elements:

- Exterior walls, cornice and their stucco cladding;
- Tile-clad roof (excluding projection at the center of the elevation, which is a later addition);
- Wood-framed fenestration;
- Arched portico element at the east end of the elevation;
- Portico linking the auditorium to Gould Indian Hall.

Non-Character-Defining Elements:

- Two-story projection booth and stairway at the center of the elevation.

**South Elevation**

Character-Defining Elements:

- Exterior walls, cornice and their stucco cladding;
- Tile-clad side gabled roof;
- Wood-framed fenestration;
- Porch and its tile-covered shed roof located over the entrance to the basement.

Non-Character-Defining Elements:

- An addition located at the west end of the south elevation that in-filled an open porch.

## **East Elevation**

### Character-Defining Elements:

- Arcaded portico, its shed roof covered in terra cotta tiles and stucco cladding extending the length of the projecting section of the elevation;
- Extension of portico that links the auditorium to Gould Indian Hall;
- Exterior walls and their stucco cladding and cornice;
- Central gabled end and its cornice and tiled roof;
- Multi-light, wood-frame window off the south end of the portico;
- Central set of doors;
- Metal chandelier set at the north end of the portico;
- Circular vent and its cast-stone surround;
- Recessed porch.

## **West Elevation**

### Character-Defining Elements:

- Side gable of roof and its terra cotta tiles;
- Exterior wall and its stucco cladding (south end of the elevation).

### Non-Character-Defining Elements:

- One-story addition at the center of the elevation.

## **9.6.2 LANDSCAPE FEATURES (as contributing elements to the setting of the Main Museum Building)**

### **Hardscape**

#### Character-Defining Elements:

- Sandstone boundary wall along Puesta del Sol (former Hazard Estate wall, excluding additions made after 1945) and the sandstone retaining wall along the north elevation of Fleischmann Auditorium;
- Stone amphitheater on the south bank of Mission Creek;
- Remaining elements of a succulent garden located off the south elevations of the Library and the Mammal Hall, including the stone steps and boulders.

#### Non-Character-Defining Elements:

- Asphalt and concrete paving and pathways;
- Water feature off the east elevation of the Education Building.

### **Vegetation**

#### Character-Defining Elements:

- Native oaks and Sycamores (see Appendix A: Sheet L1.1).

#### Non-Character-Defining Elements:

- All plantings (with the exception of the native oaks, sycamores and other native trees depicted in Appendix A on Sheet L1.1) and the remaining succulents and cacti in the garden off the south elevation of the Mammal Hall.

## 9.7 Other Historically Significant Properties or Resources within the Project Area

### 9.7.1 The Property at 2539 Puesta del Sol (Hazard Estate Carriage House)

#### **North Elevation (facing Puesta del Sol)**

##### Character-Defining Elements:

- Stone masonry walls and its three bay door openings;
- Wood bay doors;
- Shingled, overhanging second floor;
- One-over-one, wood-framed windows;
- Hipped roof and its overhang.

#### **South Elevation (facing Mission Creek):**

##### Character-Defining Elements:

- First-floor, stone masonry walls; shingled, overhanging second floor;
- Two, double-hung, wood-sash windows and the two, three-panel wood doors on the second floor;
- Placement and configuration of the stairs but not its materials;
- Complex hipped gable roof and its overhang.

##### Non-Character-Defining Elements:

- Fabric of exterior stairs;
- Window at west end of elevation;
- Latticework;
- Composition shingles on roof.

#### **East Elevation (facing Mission Canyon Road)**

##### Character-Defining Elements:

- First-floor, stone masonry walls;
- Shingled, overhanging second floor;
- Two, double-hung, wood-sash windows on the first floor and the two, double-hung, wood-sash windows on the second floor;
- Placement and configuration of the stairs but not its materials;
- Complex hipped gable roof and its overhang.

##### Non-Character-Defining Elements:

- Fabric of exterior stairs;
- Composition shingles on roof.

#### **West Elevation (facing Main Museum Complex)**

##### Character-Defining Elements:

- First-floor, stone masonry walls;
- Shingled, overhanging second floor;
- Three, double-hung, wood-sash windows on the first floor and the two, double-hung, wood-sash windows on the second floor;
- Complex hipped gable roof and its overhang.

#### Non-Character-Defining Elements:

- Composition shingles on roof;
- Wood lattice work on first floor.

### **9.7.2 The Property at 2565 Puesta del Sol (MacVeagh House)**

#### Character-Defining Elements:

- Wood-framed construction (all four elevations);
- Raised foundation with skirting;
- Siding types as detailed below for each elevation.

#### Non-Character-Defining Elements:

- Existing structural elements of the foundation;
- Existing composition shingle roofing.

### **North Elevation (Facing the SBMNH Parking Lot)**

#### Character-Defining Elements:

- One-story and two-story wings and their complex gable roofs;
- Two-story wing with its overhanging second floor supported by wood corbels and its side gable roof;
- Bay window and double-hung wood-sash windows on the first floor;
- Front door and flanking three-part window on the two-story wing;
- Second floor recessed porch, railing, porch posts and doors;
- Chimney on one-story wing;
- Tongue-and-groove siding on the first floor;
- Shingled siding on the second floor and in the gable peak;
- Wood entry deck that wraps around the northwest corner of the building and its sandstone cobble parapet.

#### Non-Character-Defining Elements:

- Screen door;
- Existing light fixtures;
- Wood deck materials (these are replacement of the original).

### **South Elevation**

#### Character-Defining Elements:

- Two-story block; its side gable roof and overhanging eaves;
- The existing first- and second-floor fenestration composed of six-over-six, double-hung sash windows and their wood frames (excluding the fenestration of the one-story wing that obscures the east end of the two-story wing);
- The gable end of the one-story wing at the east end of the elevation;
- Tongue-and-groove-style siding on the first floor;
- Shingled siding on the second floor and in the gable peak.

Non-Character-Defining Elements:

- One-story addition extending off the southeast corner of the two-story wing.

**East Elevation**

Character-Defining Elements:

- One-story wing at the south end of the elevation and its side gable roof and six-over-one and four-over-one, wood-sash windows and their wood frames;
- One-story cottage wing at the north end of the elevation with its complex roof composed of shed, front and side gable elements;
- The two-over-two, wood-sash windows and their wood surrounds and frames in the cottage wing;
- The door at the north end of the elevation.

Non-Character-Defining Elements:

- Porch off the north end of the elevation.

**West Elevation**

Character-Defining Elements:

- Two-story wing with its projecting second floor and triple gable roof;
- Recessed one-story wing at the north end of the elevation;
- Existing fenestration including all of the wood-frame sash windows;
- Paneled door at the south end of the two-story wing;
- Wood entry deck that wraps around the northwest corner of the building and its sandstone cobble parapet.

Non-Character-Defining Elements:

- Recessed one-story wing off the south end of the elevation.

**Service Yard (Courtyard) of MacVeagh House**

**West Elevation of Courtyard**

Character-Defining Elements:

- First-floor, tongue-and-groove, horizontal siding;
- Second-floor, shingled siding;
- Existing multi-light, wood-frame windows and single-light window on the first and second floors;
- Paneled four-light door.

Non-Character-Defining Elements:

- Elevated porch off the north end of the elevation;
- Addition at the south end of the elevation.

**North Elevation of the Courtyard**

Character-Defining Elements:

- Existing one-story wing and its side gable roof;
- Existing two-over-two, wood-framed windows;

- Existing horizontal siding.

Non-Character-Defining Elements:

- The vertical board siding that in-filled a porch;
- A small, metal-frame window near the west end of the elevation.

**East Elevation of the Courtyard**

Character-Defining Elements:

- One-story wing and its side gable roof and six-over-one, wood-sash windows;
- Vertical board siding.

**South Elevation of the Courtyard**

Non-Character-Defining Elements:

- The one-story wing that extends off the east end of the two-story wing.

**9.7.3 Cottage Associated with the MacVeagh House at 2565 Puesta del Sol**

**All Four Elevations**

Character-Defining Elements:

- Wood-framed construction;
- Tongue-and-groove, horizontal siding;
- Hipped roof;
- Brick chimney.

Non-Character-Defining Elements:

- Existing foundation;
- Existing composition shingle roofing.

**North Elevation**

Character-Defining Elements:

- Tongue-and-groove siding.

Non-Character-Defining Elements:

- Small addition at west end of north elevation.

**South Elevation**

Character-Defining Elements:

- Tongue-and-groove siding;
- Multi-light window.

**East Elevation**

Character-Defining Elements:

- Siding;
- Wood panel door;
- Wood-framed windows.

## **West Elevation**

### Character-Defining Elements:

- Siding;
- Multi-light windows.

### Non-Character-Defining Elements:

- One-story addition capped by shed roof off the north end of the elevation.

## **9.7.4 Western Residence (former Hoffmann garage)**

### Character-Defining Elements:

- One-bay garage associated with the former Hoffmann Estate.

### Non-Character-Defining Elements:

- All additions made to the one-bay garage.

## **9.8 Museum-owned Properties outside of the Project Area but within the Cultural Landscape**

### **9.8.1 The Property at 653 Mission Canyon Road (Director's House/Eddy House)**

#### **House**

##### Character-Defining Elements:

- Wood-frame construction;
- Footprint excluding post-1930 additions;
- Complex roof with its overhanging eaves;
- Shingled walls;
- Historic fenestration and doors as detailed in the 2011 HSSR.

##### Non-Character-Defining Elements:

- Composition shingles on roof;
- Additions made after 1930.

#### **Setting**

##### Character-Defining Elements:

- Naturalistic character of the property with its sandstone boulders and native oak trees.

##### Non-Character-Defining Elements:

- Freestanding garages.

### **9.8.2 The Property at 2660 Puesta del Sol (Morehouse Residence, Garage and Wall)**

#### **House**

##### Character-Defining Elements:

- Wood-frame construction;
- Footprint excluding post-any-1930 additions;
- Porch, its posts and ornamental trimwork on the south elevation;

- Complex roof gable with its overhanging eaves;
- Shiplap wood siding;
- Historic fenestration, primarily composed of one-over-one, wood-sash windows;
- Wood panel doors.

Non-Character-Defining Elements:

- Composition shingles on roof;
- Additions made after 1930.

**Garage**

Character-Defining Elements:

- Wood-frame construction;
- Front roof gable with its overhanging eaves;
- Shiplap wood siding.

Non-Character-Defining Elements:

- Composition shingles on roof;
- Garage door.

**Wall**

Character-Defining Elements:

- Stone wall surrounding south and west boundary on Puesta del Sol.

**9.9 Analytical Framework for Analysis of the Master Plan**

The Master Plan has been finalized to a degree of detail that provides sufficient data to evaluate project impacts to significant historic resources. Certain elements of the plans are at a conceptual stage. Therefore, the detail in the analysis is compatible with the level of detail provided for each aspect of the project. In cases where further detail is needed to fully evaluate project impacts, Historic Resource Protection Measures have been developed and are included in this report to ensure that the project meets the relevant historic preservation standards.

Schacht/Aslani Architects and Thompson/Naylor Architects developed the architectural plans (see Appendix A). The landscape plans were prepared by Van Atta Associates and the civil plans by Flowers and Associates, Inc. As noted above, a detailed project description is found in Section 3 of this report. Implementation of the proposed Master Plan would result in the construction of an additional 82 square feet of additional floor area. Full implementation of the proposed Master Plan would largely maintain existing facilities and services at their current locations and would include exhibit halls, library, offices, visitor services, classrooms, a Planetarium, Collections and Research offices, labs, and office and work space for administration and support services. The existing Main Museum Complex would continue to house exhibit and assembly halls as well as meeting spaces for the Museum and community use, support and office services. Alterations to the Main Museum Building include: revamping the Marine/Paleontology/Geology Hall, including removal of a portico linking Marine/Paleontology/Geology Hall to the Education Building; remodeling the existing bathroom wing of the west elevation of Gould Indian Hall; alterations to Fleischmann Auditorium's basement level ramp and associated features; and

conservation of a wall fountain in the courtyard of the 1922 wing. A new Butterfly Garden Exhibit with enhanced landscaping is proposed to be erected at the location of the existing Butterfly Exhibit. Alterations to the east elevation of MacVeagh Cottage are also proposed.

The proposed landscaping plan would include replacing the pedestrian portion of the existing asphalt paving off the northeast corner of Fleishmann Auditorium with sandstone pavers, installation of a new opening in the Hazard Estate wall adjacent to the new paving and installation of an accessible walkway between the parking area and the main visitor entrance to the Museum on Puesta Del Sol. An accessible pathway would be created between the Education Building and the south elevation of Fleischmann Auditorium. New paving and decking would be installed in the existing paseo between Fleischmann Auditorium and the existing pedestrian bridge. An existing outdoor education area located west of the Collections and Research Building and east of MacVeagh House and Cottage would be renovated and permitted. A new refuse enclosure and replacement parking space would be provided at the southwest corner of the existing parking lot.

Alterations are also proposed to the landscaping and hardscape on the south bank of Mission Creek. Existing plantings from the succulent garden, located off the rear (south) elevation of the existing Library and Mammal Hall, would be retained and enhanced. The Master Plan also envisions a long-term habit restoration of the oak woodlands.

## **10.0 ANALYSIS OF THE MASTER PLAN**

The following sections of the report provide an analysis of the Master Plan and are organized according to the architectural, landscape and civil plans in Appendix A. The level of analysis is compatible with the level of detail provided by the Master Plan. The following Development Standard Measures will be applied throughout the analysis:

- 1) Final architectural plans for the proposed alterations to the historic resource shall be reviewed by a City-qualified historian to ensure that the alterations follow the Secretary of the Interior's Standards for the Treatment of Historic Properties. A Phase 2 HSSR Addendum shall be prepared by the historian evaluating the final plans. The Phase 2 HSSR Addendum shall be submitted for review and approval by the City of Santa Barbara Planning Division and HLC.
- 2) If required to mitigate project impacts or document historic features prior to their alteration, recordation shall meet the requirements of Level 1 Documentation Photography and measured drawings as set forth by the City of Santa Barbara.

## 10.1 Analysis of the Master Plan:

The following section of the report provides an analysis of the Development Plan for the Master Plan:

### Western Parcel Site Improvements

#### 10.1.1 Master Plan for APN 23-250-056, APN 23-250-066, APN 23-250-068, & APN 23-250-039 (Western Parcels Site Improvements)

Please see below for a discussion of proposed changes in this area.

##### 10.1.1a Annexation of Parcels (APN 23-250-066, APN 23-250-068 & APN 23-250-039) to the City of Santa Barbara (Appendix A, Sheets C-1, L1.2)

The applicant proposes to annex to the City of Santa Barbara in Parcel 1 the following three parcels: APN 23-250-066, APN 23-250-068 and APN 23-250-039, which are currently in an unincorporated area of the County of Santa Barbara (but within the City of Santa Barbara's sphere of influence) (see Figure 2). Annexation would allow the SBMNH property to be under a single jurisdiction.

#### Analysis

The significant historic resources located within the parcels proposed for annexation are a one-bay garage once associated with the former Hoffmann Estate and now a part of the Western Residence (in the ensuing years, the one-bay garage has been almost completely encapsulated by additions to the SBMNH's Western Residence) and the significant cultural landscape identified in the Phase 1 HSSR. Annexation would not result in a substantial change in use for the parcels as the Master Plan would limit uses to walking trails, habitat restoration of the oak woodlands and low-impact educational and research uses. The proposed annexation would not impact the existing Western Residence structure, which would remain at its current location surrounded by the existing oak woodland. Annexation of the parcels would not affect these parcels' ability to contribute to the significant cultural landscape since the oak woodland would remain in place. Because the Master Plan would not introduce uses that have the potential for affecting significant historic resources, the proposal to annex APN 23-250-066, APN 23-250-068 and APN 23-250-039 to the City of Santa Barbara meets Standard 1: *A property will be used as it was historically or given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships*; and Standard 2: *The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided*. Therefore, the proposed annexation of APN 23-250-066, APN 23-250-068 and APN 23-250-039 would result in a less than significant (Class III) impact to significant historic resources.

### **10.1.1b Install a decomposed granite pathway and boardwalk leading to an enhanced bioswale and new bioswale overlook (Table 2, Item 1 and Appendix A, Sheets C-1, L1.0, L1.2)**

The applicant proposes to enhance an existing bioswale to reduce onsite stormwater run-off. The enhanced bioswale would be integrated into the existing topography and would use native materials such as sandstone and planting of indigenous plants. An accessible pathway would extend from the southwest corner of the existing parking lot to a boardwalk that would lead to an overlook that would allow visitors to experience the native woodland. The accessible pathway would be paved with decomposed granite while the boardwalk and overlook would be composed of wood or a composite material. Railings designs for the overlook have not been finalized.

#### Analysis

The significant historic resources located within this area are the one-bay garage once associated with the former Hoffmann Estate and the significant cultural landscape identified in the Phase 1 HSSR. As currently proposed the insertion of new pathways and an enhanced bioswale and overlook would not result in a substantial change in use for the parcels as the Master Plan would limit uses to walking trails, rehabilitation of oak woodlands, including improving site drainage, stormwater run-off and low-impact educational and research uses such as the proposed accessible trail and overlook that would allow visitors to experience nature at close quarters. At the conceptual level the proposed plan meets Standard 1: *A property will be used as it was historically or given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships*; and Standard 2: *The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided*. However, because the design for the boardwalk and overlook are at a conceptual level, the following measures shall be implemented:

- Final plans for the boardwalk, overlook and its railing, including material type, color and dimensions of the planking, shall be reviewed by a City-qualified historian to ensure that the alterations follow the Secretary of the Interior's Standards for the Treatment of Historic Properties. A Phase 2 HSSR Addendum Letter shall be prepared by the historian evaluating the final plans. The Phase 2 HSSR Addendum Letter shall be submitted for review and approval by the City of Santa Barbara Planning Division and the HLC.

Following the implementation of these measures, the proposed installation of a bioswale, decomposed granite pathway, boardwalk and overlook would result in a less than significant (Class III) impact to significant historic resources.

### **10.1.1c Rehabilitation of the oak woodland (Table 2, no Item number)**

Future habitat restoration, including the removal of some of the non-native trees and plantings, is anticipated to occur over time in an effort to reduce fire hazard and increase habitat values throughout the oak woodland. Plans for the rehabilitation have not been developed.

## Analysis

The significant historic resources located within this area are the one-bay garage once associated with the former Hoffmann Estate and the significant cultural landscape identified in the Phase 1 HSSR. Rehabilitation of oak woodlands would enhance the integrity of the Cultural Landscape including the setting of Mission Creek. Therefore, at the conceptual level the proposed plans meets Standard 1 and Standard 2, and its implementation would have a beneficial impact to significant historic resources (Class IV):

### **Main Campus Site Improvements**

#### **10.1.2 Main Campus Site Improvements**

##### **10.1.2a Install an ADA parking space and relocate existing parking spaces (permeable concrete) at southwest corner of the parking lot (Table 2, Item 2 and Appendix A, Sheets C-1 and L1.2)**

The Master Plan proposes to install one ADA-compliant parking space and relocate two regular spaces nearby at the entrance to the new trail, boardwalk and overlook located southwest of the existing parking lot. These three parking spaces would be paved with permeable concrete, and another space would be relocated elsewhere in the lot on existing asphalt.

## Analysis

The significant historic resources located in the vicinity of the proposed parking spaces are MacVeagh House and MacVeagh Cottage and the significant cultural landscape identified in the Phase 1 HSSR. As currently proposed the insertion of an additional parking space would not result in a substantial change in use for the area since it abuts the currently paved parking lot. The addition of three paved parking spaces to an existing parking lot would not visually impact MacVeagh House or MacVeagh Cottage since these resources are located approximately 130 feet southeast of the proposed parking spaces. Moreover, the insertion of three parking spaces on the margin of an existing parking lot would not create a substantial impact to the character of the existing woodland. At the conceptual level the proposed plans meets Standard 1: *A property will be used as it was historically or given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships*; and Standard 2: *The historic character of a property will be retained and preserved*. Therefore, the proposed installation of three paved parking spaces would result in a less than significant (Class III) impact to significant historic resources.

##### **10.1.2b Construct a trash and recycling enclosure at the southwest corner of the parking lot (Table 2, Item 3 and Appendix A, Sheets C-1 and A4.11)**

The Master Plan proposes to construct a rectangular, 30-foot long by 9-foot wide, 270-square-foot trash enclosure southwest of the existing parking lot. The enclosure would feature stucco-clad cmu walls on its south, east and west sides and a double, swing-style, metal-frame gate with wood cladding on its north elevation. Construction of the trash enclosure would require the removal of a single non-native tree.

## Analysis

The significant historic resources located in the vicinity of the proposed trash enclosure are MacVeagh House and MacVeagh Cottage and the significant cultural landscape identified in the Phase 1 HSSR. The tree proposed for removal is a 14-inch non-native tree. The tree does not appear to be of sufficient trunk size or age to date to the MacVeagh family's occupancy. As currently proposed the installation of the trash enclosure would not result in a substantial change in use for the area since it abuts the currently paved parking lot. The trash enclosure, which would be seven-foot tall, would not create a significant visual impact provided the surrounding landscaping is enhanced to minimize the visibility of this feature and the enclosure's woodwork is painted in a color that melds with the surrounding vegetation.

At the conceptual level the proposed plans meets Standard 1: *A property will be used as it was historically or given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships*; and Standard 2: *The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided*. However, because the design for the trash enclosure has not been finalized, the following measures shall be implemented:

- Final plans for the trash enclosure, including material type for the gate and color and dimensions of the planking, shall be submitted to the City's Urban Historian to ensure that the alterations follow the Secretary of the Interior's Standards for the Treatment of Historic Properties.

Following the implementation of these measures the proposed installation of a trash enclosure would result in a less than significant (Class III) impact to significant historic resources.

### **10.1.2c Replace an 18-inch diameter storm drain and raise the existing drain inlet (Table 2, Item 4 and Appendix A, Sheet C-1, item 13)**

The Master Plan proposes to replace an 18-inch storm drain extending from the southwest corner of the parking lot to a point to the southwest. Construction of the drain would not impact known historic resources. The drain would not be visible once construction is completed.

## Analysis

The significant historic resources located in the vicinity of the proposed storm drain are MacVeagh House and MacVeagh Cottage and the significant cultural landscape identified in the Phase 1 HSSR. The installation of the drain would not disturb historic resources since the MacVeagh House and MacVeagh Cottage are located approximately 130 feet southeast of the proposed storm drain. Moreover, the installation of the drain would not create a substantial impact to the character of the existing cultural landscape since it would not impact native trees or historic plantings or features, thereby meeting Standard 1 and Standard 2. Therefore, the proposed installation of a drain would result in a less than significant (Class III) impact to significant

historic resources.

**10.1.2d Permit existing improvements and install new improvements in the area between the west elevation of the Collections and Research Center and the east elevation of MacVeagh Cottage and the southeast corner of MacVeagh House (Table 2, Items 5-8 and Appendix A, Sheet C-1, items 9, 11, 24 & 27)**

The as-built and proposed changes include:

- 1) New ADA-compliant boardwalk to and around "backyard" features (fort building and paleo dig area) of approximately 1,036 SF (Table 2, Item 5 and Appendix A, Sheets C-1, Item 9 & L1.2) (Item and Appendix A, Sheets C-1, item 13);
- 2) New deck at "backyard clubhouse" (402 SF) (Table 2, Item 6, and Appendix A, Sheet C-1, Item 9);
- 3) Resurface portion of "backyard" with engineered wood fiber and mulch (Table 2, item 7 and Appendix A, Sheet C-1, Item 7 and L1.2);
- 4) Existing pond and re-circulating creek and new filtration system (existing 1,375 SF; proposed 1,200 SF) (Table 2, Item 8 and Appendix A, Sheet C-1, Item 27, L1.1).

Within the last few years outdoor educational activities have been focused in the area between MacVeagh House and MacVeagh Cottage, the west elevation of the Collections and Research Center and the north bank of Mission Creek. Alterations to this area within the last few years included the installation of learning areas, the creation of an artificial creek lined with sandstone cobbles that is spanned by sandstone slab bridges, activity areas and the removal of vegetation (Figures 63 – 65). These as-built changes have not been previously reviewed by the HLC. The Master Plan proposes to permit and/or alter the existing outdoor area as enumerated above in items 1-4. As proposed the area would include a boardwalk partially surrounding a number of learning activity areas named "the fort building area," "paleo dig area," artificial creek with "creek islands", gathering area with a deck "stage" and its northwest end and a "tree house" at the end of an elevated deck that would extend off the southeast corner of MacVeagh Cottage. Access to the area would be regulated via fencing and gates. Fence types would include post-and-rail of dimensional lumber and wood trellis fencing. Proposed materials include decking, sandstone, mulch and landscape plantings. Generally the intent of the scheme is to provide a number of loci for children's outdoor learning activities that are informal in nature.

Analysis

Historically the area now used for outdoor activities was informally landscaped within the former grounds of the MacVeagh House. The precise nature of the historic landscaping is difficult to determine as early photographs of the house did not include views from the rear of the house towards Mission Creek. However, based on a review of surviving aerial photographs taken since 1928 and a bird's eye map prepared in 1898, the area was most likely characterized by a mix of native and introduced trees set amidst a rocky outcropping. With the exception of the surviving large trees the landscaping dating to the MacVeagh period has disappeared. As noted above the existing landscaping with the exception of the larger specimen trees dates to the last few

years, the period in which the area has been transformed into an outdoor learning area, and the nearby Raptor Mews located between MacVeagh Cottage and MacVeagh House was built.

The significant historic resources located in the vicinity of the outdoor learning area are MacVeagh House and MacVeagh Cottage and the significant cultural landscape identified in the Phase 1 HSSR. The features and visual qualities that contribute to the setting of the MacVeagh House and MacVeagh Cottage and the surrounding cultural landscape include the open woodland, views towards the creek, outcroppings of sandstone and the lack of hardscape features, such as hard-surfaced pathways or other built features. Several aspects of the proposed design, including the use of the area for outdoor activities, the employment of natural materials including mulch, sandstone and wood for fencing and edging, and the overall naturalistic design of the area which employs ovoid and irregular forms rather than rectangles or grids, help ensure that the outdoor learning area can visually blend with its surroundings. Provided the paint or integral color for the overlook and railing is in character with MacVeagh House and MacVeagh Cottage (as outlined below) and the other Historic Resource Protection Measures outline below are implemented this element of the proposed project would not substantially impact the design integrity of MacVeagh Cottage or the setting of MacVeagh House and could be removed in the future without impacting historic fabric, thereby meeting Standards 9: *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment;* and Standard 10: *New additions and adjacent or related new construction will be undertaken in such a manner that if removed, in the future, the essential form and integrity of the historic property will be unimpaired.*

Because the proposed ramp, railing and overlook are reversible and would not substantially alter the architectural character of MacVeagh Cottage and MacVeagh House the overall concept is supportable provided the following Historic Resource Protection Measures are implemented to ensure that the final design for these improvements would be in character with significant historic resources and the surrounding cultural landscape:

- Maintain the current proposal to use a limited number of surfacing materials including wood or composite material for boardwalks and a stage area and two kinds of mulch;
- The paint color or integral color of the overlook posts and railings shall match the paint color of MacVeagh Cottage. The paint color shall be match the existing colors scheme of the building or be referential to the time period of MacVeagh Cottage and MacVeagh House. If a new color scheme is proposed it should be determined by an an analysis of the historic paint colors of MacVeagh House and MacVeagh Cottage or if this is not feasible, the use of period appropriate colors;
- Final plans shall provide details including perspectives for the activity area's different loci when viewed from MacVeagh House and Cottage, Mission Creek and the surrounding woodland;
- Landscaping shall maintain views towards Mission Creek and emphasize native plant material to complement the cultural landscape;
- Provide details for path edgings, signage, equipment storage and lighting (if proposed);

- Final landscape plans shall provide sufficient detail to determine that they are complementary to the cultural landscape and historic resources;
- Final Plans, including material type for the fences and gates, their color and dimensions, shall be submitted to the City's Urban Historian to ensure that the alterations follow the Secretary of the Interior's Standards for the Treatment of Historic Properties.

Therefore, provided the Historic Resource Protection Measures outlined above are implemented, the retention of the as-built elements and construction of the proposed elements of the "backyard" would result in a less than significant impact to historic resources (Class III).

**10.1.2e Reconfiguration of existing asphalt pathways at various locations near the Collections and Research Center and nearby Observatory to improve accessibility and ADA compliance (Table 2, Item 9 and Appendix A, Sheet C-1, items 1, 2 and 7 & Sheet L1.1)**

The Master Plan would remove some of the existing asphalt and concrete paving, trash receptacles and storage sheds from this area and replace them with permeable decorative unit pavers and permeable concrete paving surfaces. In some areas existing asphalt paving would be replaced with landscaping. Alterations would include new walkways around the existing Observatory and creating an opening in an existing sandstone-veneered wall that defines the Observatory's existing outdoor plaza.

Analysis

The Phase 1 HSSR determined that the Collections and Research Center, Observatory, Observatory plaza, storage sheds and the existing network of paved pathways are not significant historic resources for the purposes of environmental review (Figures 66 – 67). Therefore, the proposed removal of the sheds, portions of the paving, a section of the existing wall off the Observatory and portions of the existing paved pathways and elements of the landscaping in the form of smaller plantings would not impact significant historic resources. The proposed changes would enhance the area by removing all but one of the storage sheds and portions of the existing asphalt paving, which does not enhance the semi-rural character of the surrounding cultural landscape. As proposed the proposed replacement of existing paving with new paving materials whose texture and materials would be less visually obtrusive than the existing paving would meet the Standards provided the following design guidance is implemented on the final plans:

- If feasible limit the number of surfacing materials to create a feeling of visual unity;
- Provide details for path edgings, signage, equipment storage and lighting (if proposed);
- Final landscape plans shall provide sufficient detail to determine that the design is complementary to the surrounding cultural landscape;
- Final Plans including material type for gates shall be submitted to the City's Urban Historian to ensure that the alterations follow the Secretary of the Interior's Standards for the Treatment of Historic Properties.

Provided the final plans for this area meet the above design guidance, the proposed modifications to the existing paving and landscaping around the Collections and Research Center would result in a less than significant (Class III) impact to significant historic resources.

**10.1.2f Replace the existing butterfly exhibit with a Butterfly Garden Exhibit featuring sandstone-clad vestibules, a garden wall with a runnel and basins and landscaping. Metal structural elements would support a tensioned mesh netting covering. Resurface the area around the proposed Butterfly Garden Exhibit with several permeable surfaces including decomposed granite, permeable concrete and decorative pavers (Table 2, Items 10 & 11 and Appendix A, Sheets C-1 L1.1& L2.0)**

The Master Plan proposes to construct a Butterfly Garden Exhibit at the location of the existing butterfly exhibit located off the south elevation of the Collections and Research Center. The new exhibit space would be composed of a netted enclosure primarily used for exhibiting butterflies that has been designed to meet the Federal Department of the Agriculture criteria for butterfly containment (the Department of Agriculture's criteria are intended to ensure that exotic butterfly species are not inadvertently introduced to areas where they are not native). The location and use of the existing butterfly exhibit were approved by the City Planning Division in 2003, but subsequent design review by HLC required that the exhibit be replaced ultimately with one that is compatible with the design guidelines for El Pueblo Viejo.

The new butterfly exhibit would feature six-foot-tall garden walls, a runnel and fountain, stone-clad entry vestibules and steel "trees" supporting a black mesh netting to create a distinctly outdoor yet secure and enclosed space. The proposed structure is open in nature with 12 tapered structural steel columns anchored to concrete foundations aligned with the enclosure's north and south elevations. Covered with a powder-coated bronze finish the columns would vary in height from 15 to 18 feet. The design of the columns is intended to emulate the appearance of tree trunks. The columns would support a tensioned enclosure net composed of black insect mesh (sewn together to create a single unit) and tension wires. Light would be provided by LED downlights integrated into the steel columns. The slightly bowed rear wall of the structure would be an approximately six-foot tall cmu wall sheathed in a veneer of irregularly-shaped sandstone blocks. The south side of the wall features a centrally placed wall fountain that would drip water into a runnel at the base of the wall. At either end of the water feature, water would spill into shallow basins carved out of sandstone boulders. The south elevation would have a slightly bowed configuration with the mesh-to-ground connection composed of a powder-coated, bronze color, steel tube wrapped with the black insect mesh set on a concrete curb.

The east and west elevations would feature vestibules with entrance and exits to the exhibit space that would serve as control points for access to the enclosure. The vestibules would be of cmu construction veneered in roughly dressed sandstone. The vestibule on the east side of the Butterfly Garden Exhibit would feature two arched openings on its north and south sides and single arched openings on its east and west sides. On this vestibule, the entry/exit points would be on the south side with the other openings covered by metal grilles. Black insect mesh would cover the interior surface of the gates and screens. Metal entrance/exit gates would be fit into three of the openings on the west vestibule and two of the entrance/exits on the east vestibule the other openings would be covered by grilles of the same design. The design of the gates and grilles is inspired by the wrought-iron gate on the north elevation of the 1922 wing. The vestibules would be un-roofed with a covering of mesh, covered with very shallow parapets, and the flooring material would be flagstone. The interior of the Butterfly Garden Exhibit would be

surfaced with decomposed granite with an informal arrangement of in-ground and raised planters.

On its north side the Butterfly Garden Exhibit would be within a minimum of five feet from the south elevation of the Collections and Research Center. A walkway paved of permeable concrete with gates at either end would extend between the existing Collections and Research Center and the proposed Butterfly Garden Exhibit. The paving surrounding the south, east, west and part of the south sides of the proposed Butterfly Garden Exhibit would be permeable decorative unit pavers. An existing trail set slightly downslope and south of the Butterfly Garden Exhibit, which parallels the main pathway extending along the exhibit's south elevation, would be retained and enhanced.

### Analysis

#### Proposed Demolition:

The existing butterfly exhibit is a temporary structure that is less than 20 years of age. Therefore, its removal would result in a less than significant impact (Class III) to significant historic resources (Figures 68 – 70). The existing paving material is not historic; therefore, its removal would result in a less than significant impact (Class III) to significant historic resources.

#### Proposed Design:

The proposed Butterfly Garden Exhibit would be located off the south elevation of the Collections and Research Center and slightly southeast of the Gladwin Planetarium from which it is separated by a gated sandstone veneered cmu wall that is less than 30 years of age. The Phase 1 HSSR determined that neither the Collections and Research Center or the Gladwin Planetarium is a significant historic resource for the purposes of environmental review. Consequently, while the proposed Butterfly Garden Exhibit would be placed in close proximity to the Collections and Research Center, this would not impact views towards a significant historic resource or elements of the surrounding cultural landscape. Therefore, the placement of the proposed Butterfly Garden Exhibit would not result in significant impacts to significant historic resources or the cultural landscape.

The Butterfly Garden Exhibit does not take the form of a traditional Spanish Colonial Revival-style building; instead, the structure employs materials such as sandstone, metal and a mesh covering to create a feeling of transparency that is more directly associated with the nearby creekside environment than the Mediterranean-style buildings in the immediate vicinity of the proposed structure. From the perspective of the Standards, detailing the structure to minimize its resemblance to a traditional structure is supportable since the proposed structure is not in close proximity to significant historic buildings, structures or features. Moreover, de-materializing the structure through the use of natural materials that accentuate the structure's transparency helps minimize its visual impact on the riparian corridor along the north bank of Mission Creek and the surrounding cultural landscape.

While the overall concept for the Butterfly Garden Exhibit is supportable, the conceptual nature of

the plans requires further detail to ensure that the design meets the Standards. Therefore, the following measures shall be incorporated into the final design:

- Landscaping shall maintain views towards Mission Creek and emphasize native plant material to complement the cultural landscape;
- The use of roughly dressed sandstone veneer is supportable; however, the courses should be less random and the spring of the arches shall be detailed in a traditional manner to give the appearance that the spring of the archways are supported by the stonework;
- Detailed plans shall be provided for the Butterfly Garden Exhibit's iron gates. These elements shall be traditional in design;
- Detailed plans shall be provided for the wall fountain, runnel and basins;
- Detailed plans shall be provided for the enclosure's metal supports. The final plans for this element of the structure shall be more naturalistic;
- Details shall be provided for path edgings, signage, equipment storage and lighting (if proposed);
- Final landscape plans shall provide sufficient detail to determine that they are complementary to the cultural landscape and nearby historic resources;
- The design and material type for the fencing and gates shall be detailed. Fencing and gates shall be compatible with the existing walls and gates found nearby; and
- Final Plans shall be submitted to the City's Urban Historian to ensure that the alterations follow the Secretary of the Interior's Standards for the Treatment of Historic Properties.

Provided the final design meets this guidance, the construction of a new Butterfly Garden Exhibit would result in a less than significant (Class III) impact to significant historic resources.

**10.1.2g Replace the existing asphalt paving with permeable surfaces at the delivery area in front of iron gates off the northeast corner of Fleischmann Auditorium and improve ADA compliance (Table 2, Item 12 and Appendix A, Sheets C-2, L1.1, AD1.11)**

The Master Plan proposes to replace the pedestrian portion of the existing asphalt paving in front of the gates off the northeast corner of Fleischmann Auditorium with permeable sandstone-colored flagstone pavers laid in a random pattern (Figure 71). Removable bollards would be placed along the north side of the new paving to maintain a safe pedestrian access separate from deliveries. The design for the bollards has not been finalized.

Analysis

Removal of existing paving:

The existing asphalt is not a character-defining element of the main museum building; therefore, its removal would have a less than significant impact (Class III) on significant historic resources.

Proposed paving:

The use of random-set flagstone pavers is appropriate since this type of flagstone paving is

currently found in the courtyard of the Main Museum Building's 1922 wing. Moreover, this type of treatment is a characteristic feature of Spanish Colonial Revival building of the period including the Santa Barbara Courthouse and the El Paseo. Therefore, the proposed use of sandstone pavers would not impact adjacent significant historic resources including the Main Museum Building, Fleischmann Auditorium or the Hazard estate wall.

While the overall concept for the paving is supportable, the conceptual nature of the plans requires further detail to ensure that the design meets the Standards. Therefore, the following measure shall be incorporated into the final design:

- Provide a detailed design for the bollards including color and materials. The bollards shall be referential in material and appearance to the historic character of the main museum building.
- Final Plans for the bollards shall be submitted to the City's Urban Historian to ensure that the alterations follow the Secretary of the Interior's Standards for the Treatment of Historic Properties.

Provided the final design for the bollards meets this guidance, the installation of new paving and bollards would result in a less than significant (Class III) impact to significant historic resources.

2) The Master Plan proposes to replace the existing asphalt paving between Fleischmann Auditorium and the Main Museum Building and the southwest corner of the Marine/Paleontology/Geology Hall with permeable decorative unit pavers laid in a basket weave pattern (Appendix A, Sheets L1.0 (Detail #1) & L1.1).

### Analysis

Removal of existing paving:

The existing asphalt in this area is not a character-defining element of the main museum building; therefore, its removal, which meets Standard 9, would have a less than significant impact (Class III) on significant historic resources.

Proposed paving:

Re-pave area in front of the museum gates

Historic paving materials in the Main Museum Building are limited to flagstone, concrete scored to imitate the appearance of square tiles, tiles and concrete. Open corridors feature concrete slab, incised concrete and tile paving. Flagstone is confined to exterior spaces and the central courtyard, while asphalt was used extensively for pathways and the area off the south side of the Main Museum Building. The use of permeable decorative unit pavers would introduce a material that was not used as a paving material in the Main Museum Building during the resource's period of significance.

The use of a non-historic paving material would be consistent with the Standards provided the

new paving material does not introduce a hardscape feature whose material, color or design is inconsistent with the historic character of the Main Museum Building or its setting. Brick paving was used as a paving material in several Spanish Colonial Revival-style buildings including the El Paseo complex (James Osborne Craig, Mary Craig and Carlton Winslow), Meridian Studios (George Washington Smith) and the Lobero Theatre (George Washington Smith). Because there is a precedent for using brick pavers in a basket weave pattern in Spanish Colonial Revival-style buildings, the use of permeable decorative unit pavers laid in a basket weave pattern is an acceptable treatment. While the overall concept for the paving is supportable, the conceptual nature of the plans requires further detail to ensure that the design meets the Standards. Therefore, the following measures shall be incorporated into the final design:

- A terra cotta color would be more appropriate as this is more in keeping with historic precedents where traditional red-colored bricks were employed;
- If feasible the pavers should vary slightly in tone to prevent the paving from appearing too uniform in color;
- The texture of the pavers should match as closely as feasible the texture of a traditional fired clay brick;
- Provide a sample paver including color for review;
- The final design for the pavers, including the paving pattern and material, shall be submitted to the City's Urban Historian to ensure that the alterations follow the Secretary of the Interior's Standards for the Treatment of Historic Properties.

Provided the final design meets this guidance, the insertion of new paving would result in a less than significant (Class III) impact to significant historic resources.

**10.1.2h Replace the existing asphalt paving with permeable surfaces from Fleischmann Auditorium courtyard south the between buildings; improve ADA compliance (Table 2, Item 12 and Appendix A, Sheets C-2, L1.1, AD1.11)**

The Master Plan proposes to replace the existing asphalt paving between Fleischmann Auditorium and the Main Museum Building and the southwest corner of the Marine/Paleontology/Geology Hall with permeable decorative unit pavers laid in a basket weave pattern (Appendix A, Sheets L1.0 (Detail #1) & L1.1).

Analysis

Removal of existing paving:

The existing asphalt in this area is not a character-defining element of the main museum building; therefore, its removal, which meets Standard 9, would have a less than significant impact (Class III) on significant historic resources.

Proposed paving:

Re-pave area south of existing Fleischmann courtyard pavers:

Historic paving materials in the Main Museum Building are limited to flagstone, concrete scored to imitate the appearance of square tiles, tiles and concrete. Open corridors feature concrete slab, incised concrete and tile paving. Flagstone is confined to exterior spaces and the central courtyard, while asphalt was used extensively for pathways and the area off the south side of the Main Museum Building. The use of permeable decorative unit pavers would introduce a material that was not used as a paving material in the Main Museum Building during the resource's period of significance.

The use of a non-historic paving material would be consistent with the Standards provided the new paving material does not introduce a hardscape feature whose material, color or design is inconsistent with the historic character of the Main Museum Building or its setting. Brick paving was used as a paving material in several Spanish Colonial Revival-style buildings including the El Paseo complex (James Osborne Craig, Mary Craig and Carlton Winslow), Meridian Studios (George Washington Smith) and the Lobero Theatre (George Washington Smith). Because there is a precedent for using brick pavers in a basket weave pattern in Spanish Colonial Revival-style buildings, the use of permeable decorative unit pavers laid in a basket weave pattern is an acceptable treatment. While the overall concept for the paving is supportable, the conceptual nature of the plans requires further detail to ensure that the design meets the Standards. Therefore, the following measures shall be incorporated into the final design:

- A terra cotta color would be more appropriate as this is more in keeping with historic precedents where traditional red-colored bricks were employed;
- If feasible the pavers should vary slightly in tone to prevent the paving from appearing too uniform in color;
- The texture of the pavers should match as closely as feasible the texture of a traditional fired clay brick;
- Provide a sample paver including color for review;
- The final design for the pavers, including the paving pattern and material, shall be submitted to the City's Urban Historian to ensure that the alterations follow the Secretary of the Interior's Standards for the Treatment of Historic Properties.

Provided the final design meets this guidance, the insertion of new paving would result in a less than significant (Class III) impact to significant historic resources.

#### **10.1.2i Create ADA-compliant path of travel with permeable surface treatments (pavers and boardwalk) between the whale courtyard and the Museum's front entry (Table 2, Item 13 and Appendix A, Sheets C-2, L1.1)**

The Master Plan proposes to install an ADA-compliant pathway between the existing ADA-compliant pathway on the north side of the whale courtyard and the existing main visitor entrance at the center of the Main Museum Building's 1922 wing (Figures 72 – 75). Construction of this pathway would provide an accessible pathway linking the parking lot to the Museum's main entrance. The pathway would be composed of the following five segments: 1) the existing ramped pathway extending along the north side of the whale courtyard to the southeast corner of the whale courtyard; 2) from the whale courtyard, a proposed flagstone paved section of pathway would extend to the northwest corner of a new flagstone-paved plaza fronting the set of gates off the northeast corner of Fleischmann Auditorium (please see 10.1.2 g, Item 1 for an

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analysis of this proposed alteration); 3) at the northeast corner of the flagstone-paved plaza a boardwalk composed of wood or composite material would be installed; 4) the pathway would be ramped to provide a level pathway; and 5) at its east end the boardwalk would intersect with an existing flagstone-paved walkway that leads from Puesta del Sol to the entrance (Appendix A, Sheets L1.0 & L1.1). Construction of the new pathway would require the alteration of the following: 1) a six-foot section of the Hazard Estate wall would be removed to create an opening wide enough for the accessible pathway (Appendix A, Sheets AD1.11, Item D004, AD3.11, Item D004 & Sheet A4.12, Item 4); and 2) elements of the existing asphalt pathway and sandstone cobble curb would be removed (Appendix A, Sheet AD1.11, Item D001).

### Analysis

#### 1) Demolish a six-foot-wide section of the Hazard Estate Wall:

The existing Hazard Estate wall is a designated City of Santa Barbara Structure of Merit. The proposed plan is to remove a six-foot section of the wall at the northwest corner of Gould Indian Hall. The proposed alterations would impact the wall by removing some of its historic fabric.

Generally, the Standards discourage the removal of character-defining fabric, such as portions of the former Hazard Estate wall. However, even though the wall would lose some of its historic fabric, more than 95 percent of the wall would remain intact, a more than sufficient percentage to convey its construction type, historic appearance and associations.

Because almost all of the wall would remain in place, the removal of a six-foot-wide section would not meet the CEQA definition of substantial adverse change outlined in Section 9.3 of this report as follows: *A "substantial adverse change" means "demolition, destruction, relocation, or alteration of the resource such that the significance of an historical resource would be materially impaired" since the wall, after its alteration, could still convey its important historical associations and visual characteristics that qualify it for listing as a significant historic resource at the City, state and national levels. Therefore, this proposed alteration would result in a less than significant impact to significant historic resources (Class III) provided the following Historic Resource Protection Measures, which are incorporated into the project description, are implemented:*

- Install interpretive plaques at the wall outlining its association with the Hazard family;
- As repairs are needed, restore the remainder of the wall following the Secretary of the Interior's Standards for Rehabilitation;
- Re-use the dismantled sections of the wall to repair damaged sections of the wall that are being retained;
- Complete Level 1 documentation photography and measured drawings for the wall and its settings prior to its alteration;
- Final architectural plans for the alterations to the wall and the plaque shall be submitted to the City's Urban Historian to ensure that the alterations follow the Secretary of the Interior's Standards for the Treatment of Historic Properties.

#### 2) Demolish the existing asphalt pathway lined with sandstone cobbles between the west end of the Hazard estate wall and the main entrance:

The existing stone-lined pathway would appear to have been installed sometime between the mid 1920s and the late 1930s. It may have been installed as late as 1937 when Fleischman Auditorium was built. Removal of the walkway would alter the setting of the Main Museum Building's north elevation by removing a feature dating to the resource's period of significance that contributes to the visual integrity of the significant historic resources and cultural landscape. However, since the pathway is a relatively minor feature this impact can be reduced to an acceptable level provided the following Historic Resource Protection Measures, which has been incorporated into the project description, are implemented:

- Re-use any elements of the existing sandstone edging that might be disturbed by the construction of the new boardwalk. This would not preclude the removal of the asphalt which is not historic. Provided the new pathway leaves as much of the existing sandstone cobble border in place as feasible, the proposed insertion of a raised boardwalk would be considered reversible, and project impact to the setting of significant historic resources would be less than significant (Class III).

### 3) Construction of a boardwalk:

While boardwalks were not historically a feature of the Museum campus during the period of significance, the use of this material would allow the accessible pathway to be inserted without the need for grading, which would allow this element of the landscaping to retain its overall integrity. Therefore, the proposed insertion of a boardwalk meets Standards 9 and 10 provided the following Historic Resource Protection Measures, which have been incorporated into the project description, are implemented:

- Retain or re-use the edging of the pathway if it would be disturbed by the new construction;
- Provide detailed plans for the boardwalk, including dimensions, materials and color;
- Provide details for railings, signage, equipment storage and lighting (if proposed);
- Final landscape plans shall provide sufficient detail to determine that it is complementary to the cultural landscape and nearby historic resources;
- The design and material type for the fencing and gates shall be detailed. Fencing and gates shall be in character with the existing walls and gates found nearby; and
- Final Plans shall be submitted to the City's Urban Historian to ensure that the alterations follow the Secretary of the Interior's Standards for the Treatment of Historic Properties.

Provided the final design meets this guidance, the construction of an accessible pathway would result in a less than significant (Class III) impact to significant historic resources.

**10.1.2j Remove portion a asphalt paving south of Marine/Paleontology/Geology Hall and add a new deck (1,900 SF) over asphalt between the southwest corner of Main Museum Building and the pedestrian bridge (Table 2, Item 14 and Appendix A, Sheets C-2, L1.1, A2.21, A3.11)**

Analysis

Removal of Asphalt:

Please see section 10.1.2h for a discussion of this change.

Proposed Creekside Terrace:

A new, 1,900-square-foot, raised deck would be constructed over the existing asphalt paving at the west end of the Main Museum Building's south elevation (Figures 76 - 78). Named the Creekside Terrace, the deck would be constructed of wood or composite material. The southerly edge of the deck would feature a composite material fascia with infill wood lattice flanked on its east by a series of steps that would form an informal seating area. The western end of the deck would feature a wood guardrail. Along the western edge of the deck the existing pathways, retaining walls and planters, which are less than 50 years of age, would be reconfigured. The eastern end of the deck would transition to the existing asphalt paving. The northern edge of the deck would be formed by the south elevation of the existing building, a parapet surrounding the entrance to the basement level offices and a planter. The raised deck is proposed to remediate existing issues with the change in grade in this area and to minimize impacts to the creek bank retaining wall and native oak trees.

Analysis

While decks are not characteristic features of the Spanish Colonial Revival style, the impact of this proposed change is minimized by the following aspects of its design: 1) The deck is not attached to or in front of one of the building's historic wings; instead, it projects off the rear (south) elevation of the Marine/Paleontology/Geology Hall, which postdates the Museum's period of significance; 2) The low profile of the deck and its use of wood or wood-like materials would provide a visual transition to the creek bank that is more sympathetic in color and material than the existing asphalt paving; 3) The deck could be removed in the future with no impact to significant historic resources or the cultural landscape. Therefore, the proposed construction of the Creekside Terrace meets Standards 9 and 10 provided the following Historic Resources Protection Measures, which have been incorporated into the project description, are implemented:

- Provide detailed plans for the Creekside Terrace, including dimensions, materials and colors;
- Provide details for signage, equipment storage and lighting (if proposed);
- Final landscape plans shall provide sufficient detail to determine that it is complementary to the cultural landscape and nearby historic resources;
- The design and material type for the railing shall be detailed; and
- Final Plans shall be submitted to the City's Urban Historian to ensure that the alterations follow the Secretary of the Interior's Standards for the Treatment of Historic Properties.

Provided the final design meets this guidance, the construction of an accessible pathway Exhibit would result in a less than significant (Class III) impact to significant historic resources.

**10.1.2k Reconfigure and resurface existing pathways with permeable surfaces on the south side of Mission Creek to improve accessibility to the Broder Building, create an outdoor Chumash Village interpretive display, and enhance existing gardens (ethnobotany garden, native riparian garden and native woodland garden) (Table 2, Items 16-18 and Appendix A, Sheets C-2, L1.0, L1.1, A3.11)**

The landscaping in the area south of Mission Creek would be enhanced and amplified with new plantings of native plants. Permeable surfaces are proposed for some of the existing pathways while others would remain unaltered. Proposed and existing surface materials include permeable decorative unit pavers, permeable flagstone pavers, mulch, engineered wood fiber, decomposed granite, wood or composite material boardwalks and asphalt. Existing resources that contribute to the setting of the Main Museum Building and the cultural landscape include Coggeshall Bowl and the large specimen trees. The remainder of the landscaping and the Broder Building are not contributors to the historic character of the Main Museum Building or the cultural landscape. A design for the Chumash village life interpretive display has not been finalized (Figures 79 – 81).

Analysis

The conceptual level landscape plan depicted on Sheets L1.1 and L3.0 continues and enhances the naturalistic landscaping that is already in place on the south side of Mission Creek. Because the proposed plan would not remove historic features or introduce features that are out of character with the existing cultural landscape or setting of the Main Museum Building, the proposed changes to the landscape and hardscape on the south side of Mission Creek meet Standards 9 and 10 provided the following Historic Resources Protection Measures, which have been incorporated into the project description, are implemented:

- Provide details for signage, equipment storage and lighting (if proposed);
- Provide a detail final landscape plan with planting palette; and
- Final Plans shall be submitted to the City's Urban Historian to ensure that the alterations follow the Secretary of the Interior's Standards for the Treatment of Historic Properties.

**Main Campus Building Improvements**

**10.1.2l Validate conversion of MacVeagh Cottage (475 SF) from residential use to an educational venue; replace two existing wood doors; and replace an existing deck and ramp with a new ramp, boardwalk and viewing platform (Table 2, Item 18 and Appendix A, Sheets C-1, L1.2, A2.33, AD3.12, A4.11)**

Currently MacVeagh Cottage houses education services. Historically the building served as a residence (see Figures 58 – 61). The Master Plan proposed to validate the use of the building for educational services. As part of this conversion the existing wood panel door on the east elevation would be replaced with a wider door to meet universal access requirements. Another

door located on the north elevation, which is badly deteriorated, would be replaced with a new door matching the existing door in material, design and dimension. Another door, also located on the north elevation, would be replaced with a new door matching the existing door in dimension, material, profile and appearance. The existing deck and railings on the east elevation, which are less than 20 years of age, would be removed and replaced with a new ramp, railings and elevated deck that would serve as a platform to view the surrounding oak woodland.

**The character-defining and non-character-defining elements of MacVeagh Cottage are:**

**All Four Elevations**

Character-Defining Elements:

- Wood frame construction;
- Tongue-and-groove horizontal siding;
- Hipped roof;
- Brick chimney.

Non-Character-Defining Elements:

- Existing foundation;
- Existing composition shingle roofing.

**North Elevation**

Character-Defining Elements:

- Tongue-and-groove siding.

Non-Character-Defining Elements:

- Small addition at west end of north elevation.

**South Elevation**

Character-Defining Elements:

- Tongue-and-groove siding;
- Multi-light window.

**East Elevation**

Character-Defining Elements:

- Siding;
- Wood panel door;
- Wood-frame windows.

**West Elevation**

Character-Defining Elements:

- Siding;
- Multi-light windows.

## Analysis

While the Standards discourage the removal of historic fabric such as doors, the use of the building by the Museum for non-residential purposes requires the insertion of a wider door on the east elevation to meet universal access requirements. It should also be noted that even after the removal of the door the building would retain almost all of the other historic fabric listed above. Moreover, the replacement door would maintain the existing location of the door, its materials, profile and appearance. Consequently, after implementation of this change, MacVeagh Cottage would maintain its overall physical integrity and status as a contributor to the historical significance and setting of the nearby MacVeagh House.

The access ramp would be stained a brown color to blend into the surrounding landscape. The railing, ramp, boardwalk and viewing platform, while not precisely based on historic precedents, would be sufficiently similar to historic vernacular types (most particularly the railing, which is the most visible element, located in close proximity to MacVeagh Cottage), overall dimension and appearance to meet the compatibility requirements outlined in Standard 9. Moreover, it should be noted that the railing, ramp, boardwalk and viewing platform could be removed in the future with no impact to the architectural integrity of MacVeagh Cottage. Fixing an existing door on the north elevation in place would meet Standard 10 as this change is reversible. Recreating a badly deteriorated door on the north elevation meets Standard 6 since it would recreate the door in materials, dimension, profile and appearance. Therefore, provided the following Historic Resources Protection Measures, which have been incorporated into the project description, are implemented, the impact of the proposed alterations would be less than significant level (Class III):

- Complete Level 1 documentation photography and measured drawings for the cottage and its setting prior to its remodeling with details of those elements that are proposed for alteration;
- Retain the historic door in storage to allow it to be returned to its original location in the future should the building be returned to residential use. Implementation of this measure would allow the proposed change to meet Criterion 10.

Following implementation of these measures, impacts from the proposed remodeling would be reduced to a less than significant level (Class III).

### **10.1.2m Add HVAC unit and fence enclosure to the MacVeagh House service courtyard (Table 2, Item 19 and Appendix A, Sheets AD1.11, A4.11)**

#### **Alterations to MacVeagh House**

The Master Plan proposes the installation of mechanical equipment and screening in the service courtyard of the MacVeagh House (see Figure 57). The mechanical equipment and L-shaped enclosure would be set in the northeast corner of the service courtyard. The enclosure would feature wood walls, approximately five feet long and three feet, six inches in height, on its west and south sides. While partly open to view, the courtyard is not used or accessed by the public.

The character- and non-character-defining elements of the north elevation of MacVeagh House are:

### **Service Yard (Courtyard) of MacVeagh House**

The character- and non-character-defining elements of the service courtyard of the MacVeagh House are:

#### **Existing West Elevation of Courtyard**

##### Character-Defining Elements:

- First-floor, tongue-and-groove, horizontal siding;
- Second-floor shingled siding;
- Existing multi-light, wood-frame windows and single-light window on the first and second floors;
- Paneled four-light door.

##### Non-Character-Defining Elements:

- Elevated porch off the north end of the elevation;
- Addition at the south end of the elevation.

#### **Existing North Elevation of the Courtyard**

##### Character-Defining Elements:

- Existing one-story wing and its side gable roof;
- Existing two-over-two, wood-frame windows;
- Existing horizontal siding.

##### Non-Character-Defining Elements:

- The vertical board siding that was used to in-fill a porch.

#### **Existing East Elevation of the Courtyard (proposed west elevation)**

##### Character-Defining Elements:

- One-story wing and its side gable roof and six-over-one, wood-sash windows;
- Vertical board siding.

#### **Existing South Elevation of the Courtyard (proposed north elevation)**

##### Non-Character-Defining Elements:

- The one-story wing that extends off the east end of the two-story wing.

### Analysis

Installing a HVAC unit surrounded by an L-shaped wood screen approximately five feet square and three-foot, six-inches tall at the northeast of the courtyard would not substantially alter the overall appearance of the house since the courtyard where the HVAC equipment and its screening are located is only partially visible from the rear elevation of the house. Therefore, these proposed alterations, which are small in scale and not in a portion of the building that is accessed

by the public, meet Standard 9 and Standard 10. Therefore, this proposed alteration to the rear of MacVeagh House would have a less than significant impact to significant historic resources (Class III).

**10.1.2n Remodel Marine/Paleontology/Geology Hall including exterior changes (new doors and windows); create fire separation between the Marine/Paleontology/Geology Hall and Gould Indian Hall. Other changes include modifications to the rooftop equipment screen wall and replacing HVAC equipment. Removal of a loggia built in 1952 that links the Marine/Paleontology/Geology Hall and the Education Building (Table 2, Items 20 & 21 and Appendix A, Sheets A2.21, A2.22, A2.23, A2.32, A3.11, A3.21, AD2.32, AD3.21, A4.13)**

The Marine/Paleontology/Geology Hall, including the loggia linking the wing to the Education Building, is not a historic resource for the purposes of environmental review (Figure 82 and see Figures 28 & 29). The proposed scheme would alter the exterior by removing a loggia and door on the west elevation and removing/adding basement windows on the south elevation. A new visitor door set in a shallow recess, three multi-light windows (two of the windows would be capped by awnings) and a remodeled entrance to the basement level staff offices would also be added to the south elevation. Two recessed windows would be inserted into the west elevation. The existing cornice on the south and west elevations would be increased in height by 11 inches.

Analysis

Removal of Building Fabric and Loggia:

The Phase 1 HSSR determined that the Marine/Paleontology/Geology Hall and the loggia built 1952, which connected the building to the Education Building, are not a significant historic resource. Therefore, their removal would not result in a significant impact to significant historic resources. As a result, this proposed alteration meets Standard 9. Therefore, demolition of the loggia linking the Marine/Paleontology/Geology Hall to the Education Building would result in a less than significant impact to significant historic resources (Class III).

Proposed Scheme:

The proposed exterior remodeling scheme would alter the fenestration of the south and west elevations and alter the existing rooftop mechanical equipment and its screening. The existing parapet on the north and west elevation would be increased in height 11 inches. On the west elevation two windows would be set in a niche capped by a faux wood beam supported by a traditionally styled, plaster-clad pier. On the south elevation a pair of multi-light doors would be set in a shallow niche spanned by a faux wood lintel. Both faux wood lintels would emulate the wood beams that cap the entrance doors on Fleischmann Auditorium.

At the basement level the fenestration would be reworked by the removal of two existing windows and the insertion of two new windows covered by metal grilles. The existing double doors would be replaced with a new set of double doors and a stucco-clad safety wall would surround the south and west sides of the ramp leading down to the basement-level doors.

Generally the proposed scheme is referential to the Spanish Colonial Revival-style architecture of the Main Museum Building, albeit in a somewhat reductive and attenuated fashion. Because these alterations are not on a historic wing of the building and are broadly referential to the resource's historic architectural style, the proposed changes, including changes to the rooftop equipment, which would not be visible from public vantage points, would not substantially impact the architectural integrity of the Main Museum Building or its status as a significant historic resource. Therefore, the proposed alterations meet Standards 9 and 10 provided the following Historic Resources Protection Measures, which have been incorporated into the project description, are implemented, the impact of the proposed alterations would be less than significant level (Class III):

- Provide detailed plans for proposed fenestration, lintels, doors and cornice;
- Consider changing the size of the multi-light windows being added to the east end of the south elevation to introduce more asymmetry to the fenestration scheme since this elevation's arrangement of doors and windows is already asymmetrical;
- Provide details for signage, equipment storage and lighting (if proposed); and
- Final Plans shall be submitted to the City's Urban Historian to ensure that the alterations follow the Secretary of the Interior's Standards for the Treatment of Historic Properties.

After implementation of these measures, implementation of the proposed remodeling scheme for the Marine/Paleontology/Geology Hall would have a less than significant impact on significant historic resources (Class III).

#### **10.1.2o Remodel the existing bathroom wing off west elevation of Gould Indian Hall and reverse swing of doors on north elevation of Gould Indian Hall (Table 2, Item 22 and Appendix A, Sheets A2.22, A3.11, A4.13, AD3.21)**

The existing restroom wing (built 1952) would be remodeled. Changes would include the removal of the water fountain niche (to be replaced by a tiled plaque that re-uses the existing niche's tilework, new windows and alterations to the exterior wall).

#### Analysis

The Phase 1 HSSR determined that the restroom wing (built 1952 and subsequently remodeled) is not a significant historic resource (Figure 83). Therefore, its alteration would not result in a significant impact to significant historic resources. Moreover, the proposed scheme would employ architectural motifs of the existing wing including its arched opening and multi-light windows. It should also be noted that the remodeled wing would maintain its existing roof ridge, thereby leaving the existing view of the roof of Gould Indian Hall from Fleischmann Auditorium unimpaired. Reversing the swing on the north elevation of Gould Indian Hall would not impact the historic character of this elevation because the doors would remain in place. Because the proposed alterations would not impact a historic wing of the building and are broadly referential to the Spanish Colonial Revival style, this proposed alteration meets Standard 9. Therefore, the remodeling of the non-historic restroom wing would result in a less than significant impact to significant historic resources (Class III).

**10.1.2p Install new hydraulic lift to serve Fleischmann Basement (facilities' workshops) including construction of a low screen wall and gate. Install new on-grade HVAC equipment with fenced enclosure off the southwest corner of Fleischmann Auditorium (Table 2, Items 23 and 24; Appendix A, A2.22, A3.12, A3.21, A4.12)**

The Master Plan proposes to remove an existing ramp and metal pole railing and install a set of exterior stairs and a hydraulic lift at the southeast corner of Fleischmann Auditorium (Figure 84). A new stucco clad cmu wall would be installed in place of the current metal pipe rail fence. At the east end of the existing ramp a metal gate and cmu wall covered in stucco would regulate access to the lift and stairs. At the west end of the south elevation a six-foot tall, wood fence would be installed to shield mechanical equipment from view (Figure 85).

The character- and non-character-defining elements of the south and east elevations of Fleischmann Auditorium are:

**South Elevation**

Character-Defining Elements:

- Exterior walls, cornice, and their stucco cladding;
- Tile-clad, side gable roof;
- Wood frame fenestration;
- Porch and its tile-covered shed roof located over the entrance to the basement.

Non-Character-Defining Elements:

- An addition located at the west end of the south elevation that in-filled an open porch.

**East Elevation**

Character-Defining Elements:

- Arcaded portico, its shed roof covered in terra cotta tiles, and stucco cladding extending the length of the projecting section of the elevation;
- Extension of portico that links the auditorium to Gould Indian Hall;
- Exterior walls and their stucco cladding and cornice;
- Central gable end and its cornice and tiled roof;
- Multi-light, wood-frame window off the south end of the portico;
- Central set of doors;
- Metal chandelier set at the north end of the portico;
- Circular vent and its cast-stone surround;
- Recessed porch.

Analysis:

The loss of the ramp would not substantially impact significant historic fabric since the ramp and pipe metal railing do not form visually significant elements of the building's south elevation such that the loss of these features would substantially impact the ability of Fleischmann Auditorium to convey its original appearance or the character of its original construction. Therefore, the removal of these elements would be consistent with the Standards if the following measure, which

has been incorporated into the project description, is implemented:

- Complete Level 1 documentation photography and measured drawings for Fleischmann Auditorium prior to its alteration with details of those elements that are proposed for removal or alteration.

The design of the proposed stairs, wall and gate reference the architectural motifs of Fleischmann Auditorium without precisely mimicking them. Moreover, the lift, when retracted, would not be visible as is recommended by the Standards. At the conceptual level the proposed scheme for these features, which would not impact the building's architectural character or significant historic fabric, meets Standard 9. The implementation of the following Historic Resources Protection Measures, which are incorporated into the project description, would ensure that this element of Fleischman Auditorium is consistent with the standards.

- Complete Level 1 documentation photography and measured drawings for Fleischmann Auditorium prior to its alteration with details of those elements that are proposed for removal or alteration.
- Final architectural plans for the proposed ramp, lift, screen and walls shall be submitted to the City's Urban Historian to ensure that the alterations follow the Secretary of the Interior's Standards for the Treatment of Historic Properties.

Therefore, after implementation of the measures listed above, the proposed alterations, including a hydraulic lift, exterior stair and screening walls off the southeast corner of Fleischmann Auditorium, would result in a less than significant impact to significant historic resources (Class III).

Equipment Enclosure off the southwest corner of Fleischmann Auditorium:

A wood enclosure painted green to shield mechanical equipment from view is proposed off the southwest corner of Fleischmann Auditorium. A wood enclosure rather than a plastered cmu wall is proposed because excavating a footing for a cmu wall would disturb the roots of the adjacent native oak tree. A lattice-style wood fence with a rectangular grid is the proposed treatment as the color and slightly transparent quality of such a barrier would allow this feature to meld into the landscaping.

### Analysis

This proposed feature is modest in scale, massing and would not impact views toward Fleischmann Auditorium. Therefore, this proposed alteration, which is reversible, meets Standards 9 and 10. Therefore, implementation of the proposed alterations to Fleischmann Auditorium and its immediate settings would have a less than significant impact on significant historic resources (Class III).

**10.1.2q Remove existing rooftop mechanical equipment and replace with condensers on east and west wings of 1922 wing (Table 2, Item 25 and Appendix A, Sheets A2.23, AD2.31 &AD3.32)**

The Master Plan proposes to replace existing roof top equipment with new condensers. The equipment would not be visible from the exterior of the building or the courtyard.

Analysis

The Phase1 HSSR determined that the 1922 wing is a significant historic resource. Because the equipment will not be visible its installation would not impact the architectural or design integrity of the building and meets Standard 9 and Standard 10. Therefore, replacement of the existing rooftop mechanical equipment would result in a less than significant impact to significant historic resources (Class III).

**10.1.2r Conserve the wall fountain in the main courtyard (Table 2, Item 26)**

The Master Plan proposes to conserve the Roland Hazard Memorial Fountain (see Figures 24 & 26).

**Main Courtyard**

Conserve the Historic Wall Fountain

The character- and non-character-defining elements of the Main Courtyard are:

Character-Defining Elements:

- Arched corridors, stucco-clad piers and their shed and flat roofs covered in terra cotta tiles that extend around all four sides of the existing patio;
- Stucco-clad walls on the interior of the courtyard;
- Arched opening at the center of the north elevation's interior wall that forms the main entrance to the Museum;
- Wall fountain inset into the wall at the center of the courtyard's south elevation;
- Wrought-iron wall sconces added after 1922 but before 1945;
- The use of paving in the central courtyard (the existing paving was re-laid to be flush with the surrounding corridors in 1992);
- Scored concrete paving in the corridors.

Non-Character-Defining Elements:

- The doors on the north, south and west elevations of the courtyard;
- Exhibition cases on the south wall of the courtyard's corridor.

A detailed plan has been prepared for the conservation of the wall fountain by Amy Green, conservator with Silverlake Conservation, LLC. A copy of the conservation plan can be found in Appendix C. The conservation plan was developed after an on-site inspection of the fountain and a review of historic photographs of the fountain archived at the SBMNH Library. The inspection revealed structural issues with the fountain's fabric including the following:

- Glaze and clay loss on six of the tiles;
- Water in the basin may be contributing to the deterioration of the tiles;
- There appears to have been some movement in the plastered wall to which the fountain is attached;
- A horizontal crack in the smaller blue tiles is indicative of settling or movement in the lower part of the wall;
- Scale (hard water deposits) and biological growth (algae) on the tiles and ceramic basin;
- The ceramic basin has glaze and clay loss;
- The ceramic basin has scale (hard water deposits).

The Historic Resource Protection Measures incorporated into the project description include the following measures to conserve the fountain's historic fabric:

- The fountain elements will be photographed using digital images before, during and after treatment;
- The water in the basin will be removed, and all of the clay and stone elements of the fountain will be cleaned with a conservation grade cleaning agent and rinsed with distilled water;
- Biological growth will be treated with a biocide and reduced mechanically;
- Scale on the tiles, grout and stone will be softened with solvents and reduced mechanically with wooden hand tools and possibly razor blade and scalpels;
- Cracks in the tile bed and surround will be thoroughly cleaned and then injected with a cement liquid mortar and filled with an inert reversible fill material;
- Losses in clay, grout and sandstone will be filled with an inert, reversible fill material to mimic the surrounding profile and texture;
- Fills in the stone or grout will be toned or tinted to resemble the surrounding material in color;
- Losses in the glaze will be painted with a durable compatible paint system that resembles the surrounding glaze surfaces in color and sheen;
- The grout will be sealed with a proprietary grout sealer; and
- The metal and tile elements will be waxed to provide protection from water penetration.

### Analysis

A report detailing the methods and materials used in the treatment will be written, and maintenance recommendations will be included in the report (please see Appendix C). The treatment strategy proposed for the fountain is Preservation, which is defined by the National Park Service as follows: "The first treatment, Preservation, places a high premium on the retention of all historic fabric through conservation, maintenance and repair. It reflects a building's continuum over time, through successive occupancies, and the respectful changes and alterations that are made" ([http://www.nps.gov/hps/tps/standguide/overview/choose\\_treat.htm](http://www.nps.gov/hps/tps/standguide/overview/choose_treat.htm)).

The proposed conservation treatment plan has been designed by a restoration specialist and meets Standard 6 since it will preserve this feature's historic materials and appearance to the

maximum extent feasible. Therefore, implementation of the proposed conservation treatment plan, which meets the Standards, would have a less than significant impact (Class III) on significant historic resources.

**10.1.2s Remodel the east elevation of the Education Building after the removal of the portico linking it to the Marine/Paleontology/Geology Hall (Table 2, item 21; Appendix A, AD2.23, AD3.11 & A3.12)**

The Master Plan proposes to remodel the existing elevation by removing the portico linking it to the Marine/Paleontology/Geology Hall and in revealing an existing front-facing gable. The gable would be altered by inserting three wood corbels.

Analysis

The Phase 1 HSSR determined that the Education building was not a significant historic resource for the purposes of environmental review. Therefore, removal of the portico would not impact significant historic resources. Because the proposed remodeling scheme draws its references from the building's existing architectural vocabulary, this proposed alteration would not impact the setting of nearby significant historic buildings including Fleischmann Auditorium or the rear elevation of the Main Museum Building. Therefore, implantation of the remodeling scheme would have a less than significant impact (Class III) on significant historic resources.

**10.1.2t Install a sidewalk on the south side of Puesta del Sol (Appendix A, Sheet C-2)**

As a founding member of Citizens for Safe Passage, the Museum is participating with a significant group of stakeholders who are collaborating with multiple public agencies in an effort to create a safe pedestrian access along Mission Canyon Road between Mission Santa Barbara and Foothill Road. The Mission Canyon Community Plan calls for pedestrian access within the plan area to maintain the semi-rural character of the Mission Canyon neighborhood.

At such time as improvements to the Mission Canyon Road/Puesta del Sol intersection are constructed, the Museum proposes to construct a compatible sidewalk along its Puesta del Sol street frontage (south side) to provide pedestrian access to the campus from the improved pedestrian access on Mission Canyon Road corridor. The sidewalk would extend west from the intersection of Puesta del Sol to the northwest corner of the Hazard Estate wall.

The character- and non-character-defining elements of the streetscape of the 2500 block of Puesta Del Sol are:

Contributing Elements to the Setting of the Museum and the Cultural Landscape:

- The Main Museum Building at 2559 Puesta del Sol;
- The Hazard Carriage House at 2539 Puesta del Sol;
- Director's House at 653 Mission Canyon Road;
- Morehouse House, garage and sandstone wall at 2560 Puesta del Sol;
- Hazard Estate wall at 2539 and 2559 Puesta del Sol;

- Lack of concrete-paved sidewalks along Puesta del Sol; and
- Tree canopy.

Non-contributing Elements to the Setting of the Museum and the Cultural Landscape:

- The house at 2556 Puesta del Sol;
- Parking spaces along Puesta del Sol; and
- The existing grade along the south side of the street.

Analysis

As noted above, a plan for the sidewalk has not been prepared. Implementation of the following Historic Resources Protection Measures that are incorporated into the project description would ensure that a new sidewalk would not substantially impact the setting of the Main Museum Building or the surrounding cultural landscape:

- The use of paving materials such as concrete or pavers should be avoided as the incorporation of hard-surfaced walkways of this type would diminish the visual integrity of the 2500 block of Puesta del Sol, which, like many early 20<sup>th</sup> century streets in Mission Canyon, did not feature concrete sidewalks or curbs; the preferential treatment would be stabilized decomposed granite with a sandstone cobble or block curb that would more seamlessly integrate with the street's semi-rural setting;
- Final architectural plans for the proposed sidewalk shall be submitted to the City's Urban Historian to ensure that the alterations follow the Secretary of the Interior's Standards for the Treatment of Historic Properties.

**11.0 INDIRECT AND CUMULATIVE IMPACTS**

**11.1 Indirect and Cumulative Impacts**

The cumulative impact analysis will focus on evaluating impacts to significant historic resources that would result from implementation of the proposed Master Plan and other past, present and reasonably foreseeable projects in the vicinity of the project area. For the purposes of this analysis significant historic resources include those resources listed in Tables 1, 2 and 4 of this report. To assess the effects of the proposed project on these significant historic resources, the definition of significant *effects* (from CEQA Appendix G, Section 15064.5) was used in combination with the more specific language found in Section 106 of the National Preservation Act of 1966 (36 CFR §800 as amended). Specifically, § 800.5 (a) (1) states that an adverse *effect* is found when an undertaking may alter, directly or indirectly, any of the characteristics of a historic property that would qualify the property for inclusion in the National Register in a manner that would diminish the integrity of the property's location, design, setting, materials, workmanship, feeling, or association. Consideration shall be given to all qualifying characteristics of a historic property, including those that may have been identified subsequent to the original evaluation of the property's eligibility for the National Register. Adverse *effects* may include reasonably foreseeable *effects* caused by the undertaking that may occur later in time, be further removed in distance, or be cumulative. Cumulative impacts can be defined as the total *effects* on a resource of that

action and all other activities affecting that resource (CEQA 1987).

The relevant adverse *effects* listed in § 800.5 (a) (2) are:

- (iv) Change of the character of the property's use or of physical features within the property's setting that contribute to its historic significance; and
- (v) Introduction of visual, atmospheric, or audible elements that diminish the integrity of the property's significant historic features.

As noted in CEQA Guidelines there are three types of *effects* (impacts): 1) Direct or primary *effects* are caused by a project and occur at the same time and place; 2) Indirect or secondary *effects* that are reasonably foreseeable and caused by a project, but occur at a different time or place; CEQA guidelines state the following: An indirect change in the physical change in the environment is a physical change..... which is not immediately related to a project, but which is caused indirectly by the project (for example road improvements carried out for one project may foster future development projects in the vicinity); and 3) Cumulative Impacts: Cumulative Impacts are defined by CEQA as two or more individual impacts which, when considered together, are considerable or which compound or increase other environmental impacts (CEQA Guidelines, Sections 15064 and 15355). The focus of the analysis will be on assessing potential indirect and cumulative effects associated with the proposed Santa Barbara Museum of Natural History's Master Plan and its contribution to cumulative impacts to the character-defining features of individual resources and/or the significant cultural landscape or the other adjacent significant historic resources identified in this report.

### Analysis

#### Indirect Impacts:

The Master Plan for the Santa Barbara Museum of Natural History, as currently proposed, would consist of alterations to existing buildings, the construction of a new Butterfly Garden Exhibit, parking and stormwater retention and management and new landscaping and oak woodland restoration.

Implementation of the proposed Master Plan does not have the potential for resulting in future substantial changes to the significant cultural landscape, whose contributing properties are delineated in Table 4. It would appear that the potential for such development is minimal since the zoning for surrounding parcels limits their use to residential and educational/cultural and institutional uses, which already exist within the cultural landscape and have characterized it since the early 20th century. Therefore, the proposed project does not have the potential for leading to significant indirect impacts to significant historic resources or the surrounding cultural landscape.

Contribution to the intensification of development from the Santa Barbara Museum of Natural History's Master Plan and other approved or pending projects in the vicinity of the Museum Campus

For the purposes of this review the vicinity of the project area is defined as the parcels listed in Figure 4 that contribute to the significant cultural landscape. Only one large-scale project is located in the vicinity of the project area. This is a project currently under construction at 2300 Garden Street to transform the former Saint Anthony's Seminary into the Garden Street Academy, a private school. As proposed the project, which is partially completed, encompasses retrofitting and rehabilitating the existing buildings and alterations to the existing service driveway and landscaping. The project does not encompass substantial changes to the north side of the complex, which faces towards Mission Canyon. An HSSR was prepared in 2009 by Preservation Planning Associates. The report and its subsequent addenda determined that the project was consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties and that the impact from the implementation of the proposed project was less than significant (Preservation Planning Associates 2009). Other projects in the vicinity of the SBMNH project property are primarily limited to small-scale residential remodeling projects, which do not have the potential for substantially contributing to cumulative impacts to significant historic resources. Approved and pending projects in the vicinity of the project area are either minor in scale or have been determined to have less than significant impacts on significant historic resources. Therefore, the proposed implementation of the Santa Barbara Museum's Master Plan does not have the potential for substantially increasing development in the project vicinity in a manner that would contribute to significant impacts to nearby significant historic resources or the surrounding cultural landscape.

## **11.2 Analysis of cumulative impacts to the Main Museum Complex and Surrounding cultural landscape**

The following section of the report provides an analysis of cumulative impacts to the Main Museum Complex.

### **11.2.1 Cumulative impacts to nearby significant historic resources**

Implementation of the proposed Master Plan project would result in changes to significant historic resources as enumerated in Section 10 of this report. Changes outlined in the Master Plan include alterations to a non-historic wing of the main museum building, the basement element of Fleischmann Auditorium, MacVeagh Cottage, alterations to a portion of the Hazard estate wall, modifications and improvements to landscaping and hardscape. As summarized in Table 1, none of these proposed changes would result in significant impacts to significant historic resources or the cultural landscape.

As part of the Citizens for Safe Passage project that includes pedestrian access from Mission Park to the Museum along Mission Canyon Road a sidewalk may be installed on the south side of Puesta del Sol from Mission Canyon Road to the gates located off the northwest corner of Fleischmann Auditorium (SEPPS 2014: 10). Provided the Historic Resource Protection Measures outlined in Section 10.1.2t are implemented, realization of this element of the Citizens for Safe

Passage project would result in a less than significant impact to the setting of significant historic resources or the surrounding cultural landscape (Class III).

Another future project may be a Creek Bank Stabilization and Fish Passage Improvement project that encompasses improvements to Mission Creek's creek channel, to improve fish habitat and enhance creek bank stabilization. Changes may include removing and or modifying in-creek concrete grade control structures, new or improved habitat pools and removal or reconfiguration of the creek's sandstone retaining walls (SEPPS 2014: 17 -19). Because a project has not been defined for the Creek Bank Stabilization and Fish Passage Improvement Project, the contribution this potential project would make to cumulative impacts to significant historic resources or the surrounding cultural landscape would be premature. Analysis of potential impacts to historic resources that may result from this future project will need to be analyzed with respect to project specific and cumulative impacts at such time that a potential project has been defined and an application for approval is submitted to the decision-making agency(s). Therefore, at this time the Santa Barbara Museum of Natural History Master Plan project cannot provide sufficient data to fully characterize the project. Provided the project does not propose the removal of significant historic features, introduce materials or features out of character with the resource's substantially impact significant viewsheds or the cultural landscape would be less than significant (Class III).

While implementation of the changes outlined in the proposed master plan would alter individual resources and elements of the historic streetscape on the 2500 block of Puesta del Sol, they do not appear to result in substantial cumulative impacts to the setting of the cultural landscape or nearby significant historic resources, such as Mission Santa Barbara (National Landmark, National Register, California Register of Historical Resources and Santa Barbara Landmark) or the Garden Street Academy (former Saint Anthony's Seminary) (Santa Barbara Landmark and California Register of Historical Resources) since the setting of the Museum at the south end of Mission Canyon would retain its semi-rural character and because the following historic viewsheds that link the historic and landscape resources to each other would remain unimpaired:

- The view toward the historic Main Museum Complex from and to Mission Canyon Road;
- The view toward the historic Main Museum Complex from and to Rockwood Women's Club;
- The view toward the historic Main Museum Complex from and to the Director's Residence (former Herman Eddy House);
- The view toward the historic Main Museum Complex from and to the Morehouse Residence;
- The view toward the historic Main Museum Complex from and to Puesta del Sol;
- The view toward the historic Main Museum Complex from and to Holy Cross Monastery (former Saint Mary's Retreat House);
- The view toward the historic Main Museum Complex from and to the Garden Street Academy (former Saint Anthony's Seminary);
- Views toward and from the stone bridge on Mission Canyon Road to Mission Creek; and
- Views from the rear of Mission Santa Barbara toward Mission Canyon.

Therefore, after implementation of the proposed Master Plan, the significant historic resources on or adjacent to the project parcels would maintain their eligibility for listing as significant historic

resources at the City, state, and national level and the significant cultural landscape would remain substantially unimpaired.

## 12.0 CONCLUSIONS

A Phase 2 Historic Structures/Sites Report was prepared by Post/Hazeltine Associates to evaluate a proposed Master Plan for the Santa Barbara Museum of Natural History. The Phase 2 HSSR analyzed project impacts to significant historic resources that had been identified in a Phase 1 Historic Structures/Sites Report prepared in 2011. This Phase 2 HSSR determined that implementation of the Master Plan would not result in potentially significant impacts to significant historic resources, including the significant cultural landscape, provided the Historic Resource Protection Measures outlined in Section 10 of the report summarized below in Table 6 and are incorporated into the Santa Barbara Museum of Natural History 2014 Master Plan Applicant Report (SEPPS 2014) are implemented.

<b>Table 6: Summary of Historic Resource Protection Measures that are included in the Project Description</b>		
<b>Resource</b>	<b>Project Component</b>	<b>Design Measures</b>
<b>Entire Site</b>		
<b>All Resources</b>	<b>Annexation</b>	No measures
Gould Indian Hall	Remodel existing bathroom wing on west elevation of building, reverse swing of doors on the north elevation	No measures
Cartwright Hall (former Botany Hall)	No proposed exterior changes	Not applicable
Mammal Hall	No proposed exterior changes	Not applicable
Bird Habitat Hall	No proposed changes.	Not applicable
1922 wing: Entry Courtyard	Conservation of the existing courtyard fountain.	Implement the conservation treatment plan outlined in Section 10.1.2p
Fleischmann Auditorium	Remove ramp, add stairs, parapet and mechanical screening	Implement the Historic Resource Protection Measures outlined in Section 10.1.2o
Administration Wing	No proposed exterior changes	Not applicable
Luria Hall	No proposed exterior changes	Not applicable
Marine/Paleontology/Geology Hall	Interior, exterior & roof-top alterations	Implement the Historic Resource Protection Measures outlined in Section 10.1.2m

<b>Table 6: Summary of Historic Resource Protection Measures that are included in the Project Description</b>		
<b>Resource</b>	<b>Project Component</b>	<b>Design Measures</b>
Paving replacement	Replace most of the paving between gates and pedestrian bridge	Implement the Historic Resource Protection Measures outlined in Section 10.1.2g, and 10.1.2h and 10.1.2i
MacVeagh House	Add mechanical equipment to courtyard	Implement the Historic Resource Protection Measures outlined in Section 10.1.2l
MacVeagh Cottage	Replace two doors, fix door in place, install new decks and railings. Permit existing use	Implement the Historic Resource Protection Measures outlined in Section 10.1.2k
Hazard Carriage House	No proposed changes	Not applicable
Butterfly Garden Exhibit	Demolish	No measures
Education Building	Alter the east elevation by removing the loggia	No measures
Butterfly Garden Exhibit	Construct a replacement exhibit with stone-clad vestibules , gates, pathways and landscaping	Implement the Historic Resource Protection Measures outlined in Section 10.1.2f
Outdoor Nature Learning Area west of Collections and Research Center	New accessible pathways, surfacing, landscaping, decks, and other features	Implement the Historic Resource Protection Measures outlined in Section 10.1.2d
Trash enclosure	Build trash enclosure at southwest corner of parking lot	Implement the Historic Resource Protection Measures outlined in Section 10.1.2b
Parking spaces	Relocate three spaces at southwest corner of parking lot and one at another location in the existing parking area	Implement the Historic Resource Protection Measures outlined in Section 10.1.2a
Creekside Terrace off west end of the Main Museum Building's south elevation	Accessible wood deck with railing, landscaping and retaining walls	Implement the Historic Resource Protection Measures outlined in Section 10.1.2i
Puesta del Sol	Future sidewalk for Citizens for Safe Passage project	Implement the Historic Resource Protection Measures outlined in Section 10.1.2s
See next page		

<b>Table 6: Summary of Historic Resource Protection Measures that are included in the Project Description</b>		
<b>Resource</b>	<b>Project Component</b>	<b>Design Measures</b>
Repave area in front of gates (southeast of Fleischmann Auditorium)	Remove asphalt, replace with flagstone pavers	Implement the Historic Resource Protection Measures outlined in Section 10.1.2g
Repave walkways in vicinity of the Collections and Research Center	Alter existing pathways for accessibility and landscaping	Implement the Historic Resource Protection Measures outlined in Section 10.1.2e
Replace existing walkways at west end of 1922 wing (north elevation)	Add boardwalk-style accessible pathway	Implement the Historic Resource Protection Measures outlined in Section 10.1.2h
Oak Woodland	Habitat restoration in oak woodland	No measures
Alter landscaping on the south side of Mission Creek	Install new accessible surfaces on pathways, new plantings & Chumash interpretive exhibit	Implement the Historic Resource Protection Measures outlined in Section 10.1.2j
Area west of MacVeagh House and Cottage	New pathway, boardwalk and viewing area	Implement the Historic Resource Protection Measures outlined in Section 10.1.1b
Replace drains	Replace existing drains	No measures

An analysis of the proposed project reveals that the project as proposed is consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties provided the Historic Resource Protection Measures outlined in the report and summarized in Table 6 are implemented. Cumulative impacts to significant historic resources, including the cultural landscape, are considered less than significant.

### **13.0 LIST OF RESOURCES CONSULTED DURING THE PREPARATION OF THIS REPORT**

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Post/Hazeltine Associates

Phase 2 HSSR

for the Santa Barbara Museum of Natural History Master Plan

April 9, 2014

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**The following materials on file at the City of Santa Barbara, Community Development Department, Planning Division, were used in the preparation of this report:**

City of Santa Barbara Architectural and Historic Resources Survey for 2539 and 2559 Puesta del Sol Road.

Sanborn Fire Insurance Map, 1931, updated, 1964.

Street files for 2539, 2559 2556, 2560, 2565 Puesta del Sol Road, and 653 Mission Canyon Road

Post/Hazeltine Associates

Phase 2 HSSR

for the Santa Barbara Museum of Natural History Master Plan

April 9, 2014

**The following maps were consulted for this report:**

Bird's Eye Views of Santa Barbara, 1877 and 1898.

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# Maps & Figures

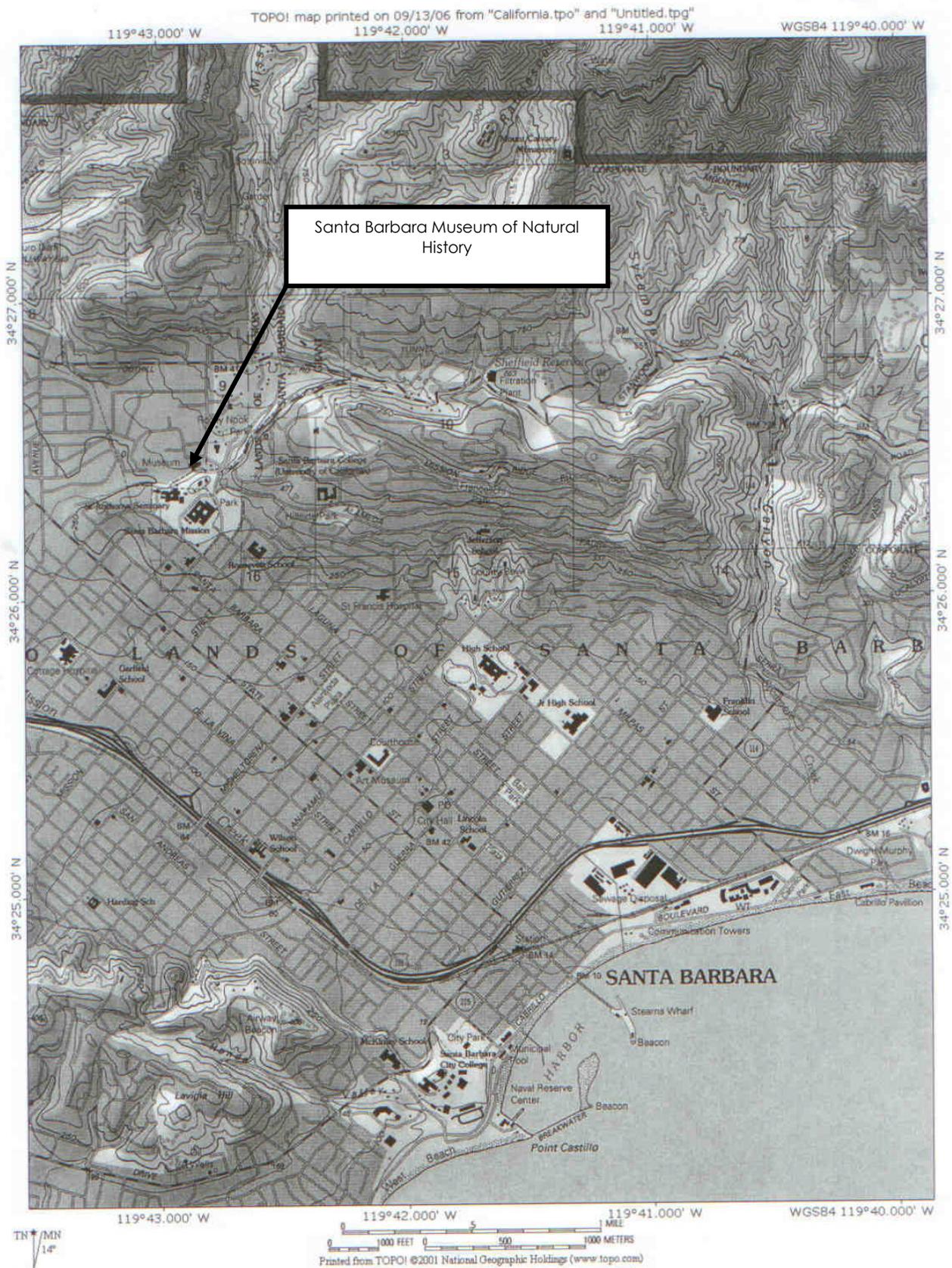


Figure 1  
Location map for 2565 Puesta del Sol Road (Museum of Natural History Campus)

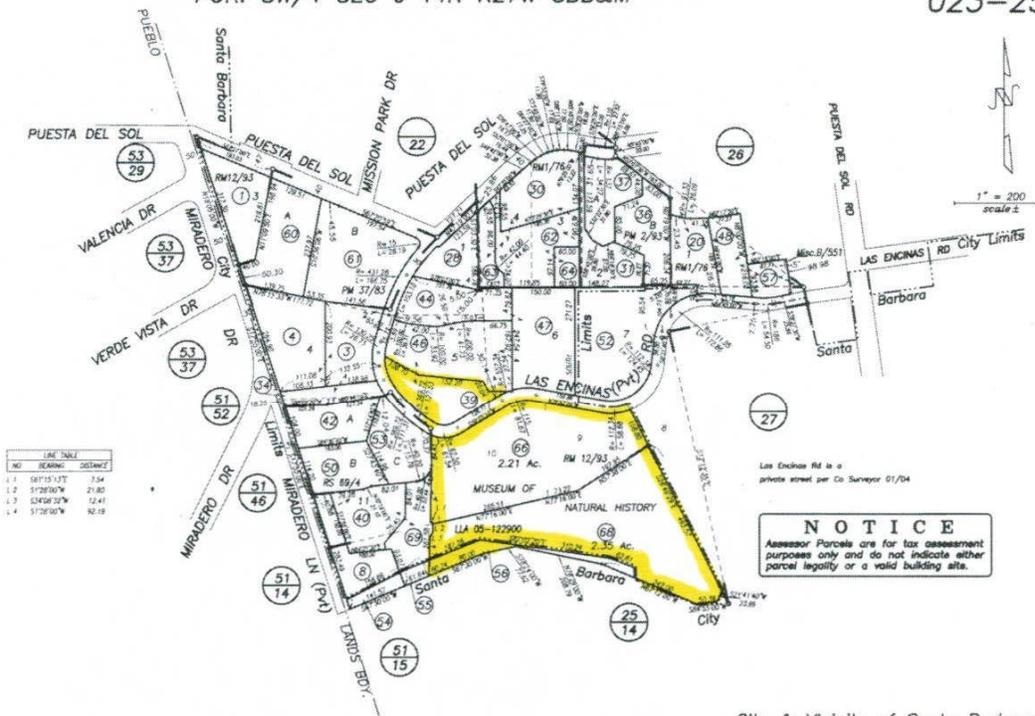
POR. S. 1/2 SEC. 9, T. 4 N., R. 27 W., S.B.B. & M.  
 & MISSION LANDS



Assessor's Map  
 County of Santa

NOTE - Assessor's Block Numbers Shown in Ellipses  
 Assessor's Parcel Numbers Shown in Circles

Figure 2  
 Assessor's Parcel Map #2 (yellow outlines Museum parcels)  
 (APN 23-271-003 & APN 23-271-004)  
 Santa Barbara Museum of Natural History  
 (Museum of Natural History Campus)



NO.	BEARING	DISTANCE
1.1	S87°13'33"E	7.84
1.2	S1°28'00"W	21.85
1.3	S24°58'32"W	12.41
1.4	S1°32'00"W	82.18

06/29/1920 R.M. Bk. 12 , Pg. 93 , Tract "Las Encinas"  
 / / R.M. Bk. B , Pg. 551 , Tract "Pedregosa"  
 11/07/1898 R.M. Bk. 1 , Pg. 76 , Tract "Blake"

City & Vicinity of Santa Barbara  
 Assessor's Map Bk, 023-Pg, 25  
 County of Santa Barbara, Calif.

LD/06 9, 10, 41 Plus 88, 88, 89

Figure 2a  
 Assessor's Parcel Map #1 (yellow outlines Museum parcels)  
 (APN 23-250-039, APN 23-250-056, APN 23-250-066 & APN 23-25-068)  
 Santa Barbara Museum of Natural History  
 (Museum of Natural History Campus)



Figure 3a  
 Existing Site Plan Main Museum Complex  
 Santa Barbara, Museum of Natural History  
 (Schacht/Aslani)



Figure 3a  
 Existing Site Plan Main Museum Complex  
 Santa Barbara, Museum of Natural History  
 Schacht/Aslani, 2010

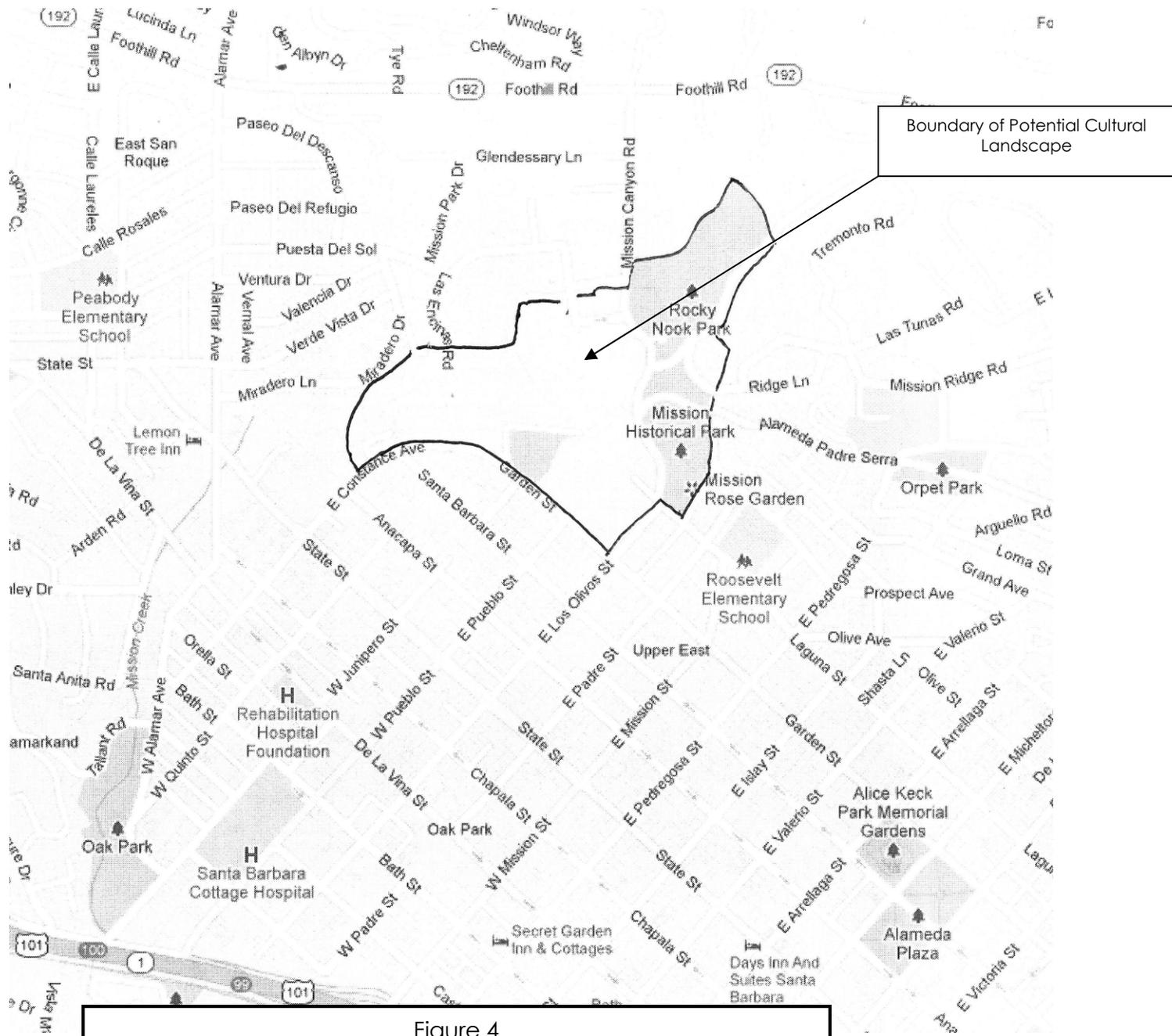


Figure 4  
 Boundary of the potential Cultural Landscape defined in the  
 Phase 1 HSSR

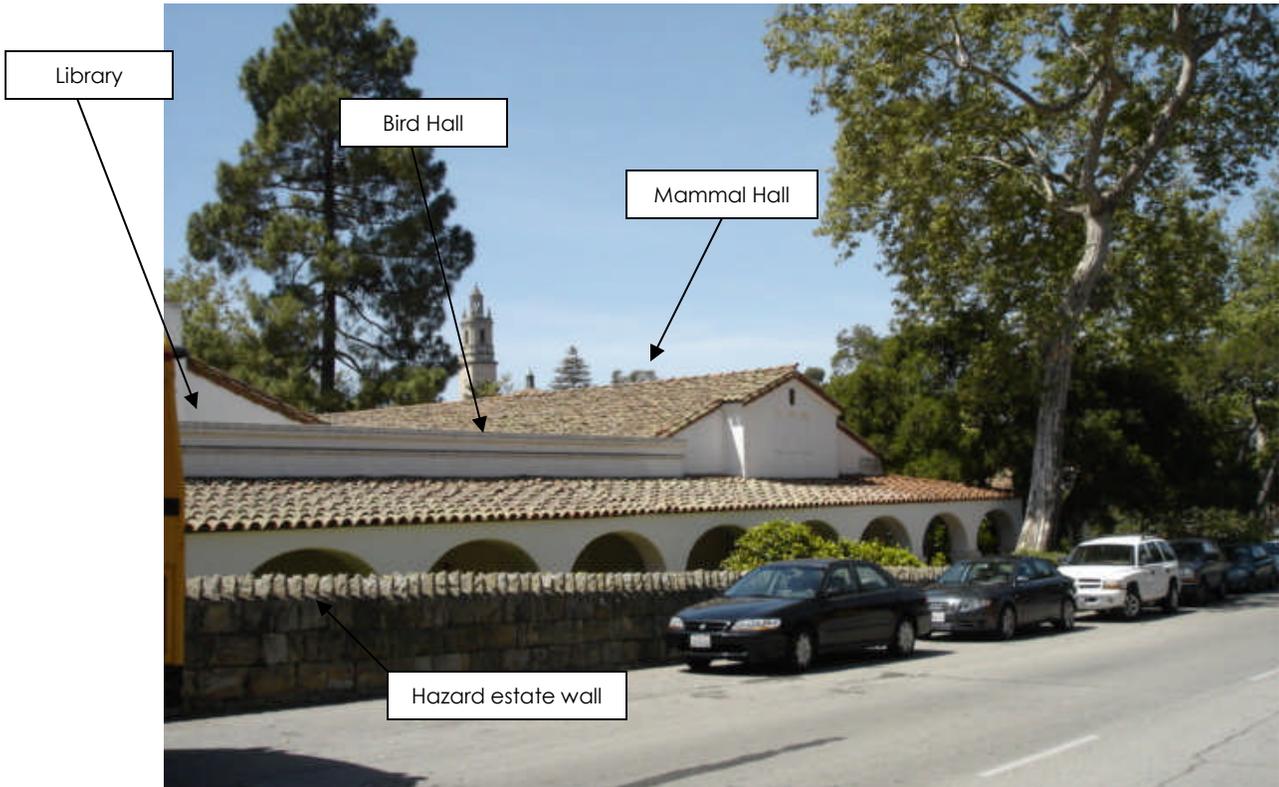


Figure 5  
North (façade) elevation of the Santa Barbara Museum of Natural History  
(looking southwest)



Figure 5a  
North (façade) elevation of the Santa Barbara Museum of Natural History  
(Cartwright Interactions Hall)  
(looking south)



Figure 6  
North (façade) elevation of the 1922 Wing  
(looking southeast)



Figure 6a  
North (façade) elevation of Gould Indian Hall and arcade linking it to Fleischmann  
Auditorium  
(looking south)



Figure 7  
Main Entrance on the north elevation of the Main Museum Complex  
(Looking south)



Figure 8  
Courtyard, Main Museum Complex, looking towards the main entrance  
(Looking northwest)



Figure 8a  
Main Museum Complex  
North Elevation of Gould Indian Hall from Puesta del Sol  
(Looking south)



Figure 9  
Main Museum Complex  
North Elevation of Fleischmann Auditorium from Puesta del Sol  
(Looking southwest)



Figure 9a  
Main Museum Complex  
Southeast corner of Fleischmann Auditorium  
(Looking west)



Figure 10  
Main Entrance (east elevation) of Fleischmann Auditorium  
(Looking northwest)



Figure 11  
Main Museum Complex  
East end of South Elevation (Looking northeast)

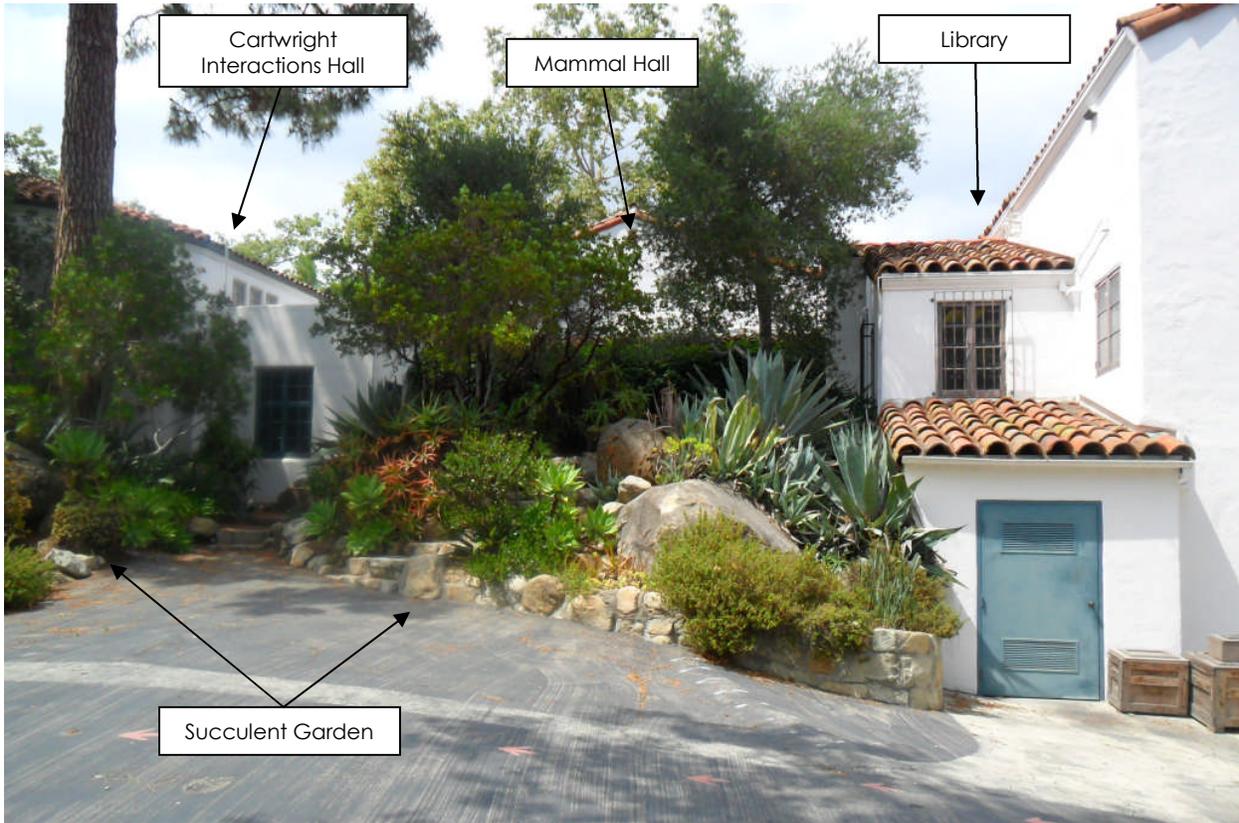


Figure 12  
South Elevation of Mammal Hall  
(Looking north)



Figure 13  
South Elevation of Cartwright Interactions Hall  
(Looking north)



Figure 14  
Administration Wing (recessed section of east elevation)  
(Looking west)



Figure 15  
East Elevation of Administration Wing (foreground) and Luria Gallery (background)  
(Looking west)



Figure 16  
Rear Elevation (south) of Administration Wing (Looking northeast)



Figure 17  
Rear Elevation (south) of Luria Hall and the southeast corner of  
Marine/Paleontology/Geology Hall (Looking north)



Figure 18  
Rear Elevation of former Marine/Geology Hall (Looking north)  
(photograph taken in 2010, before the mural was removed)



Figure 19  
East Elevation of Gould Indian Hall (Looking east)



Figure 20  
East Elevation of Main Museum Complex (Looking south)  
Bird Habitats Hall and Maximus Gallery



Figure 21  
Detail of wrought iron gates in loggia linking Fleischmann Auditorium to Gould  
Indian Hall (Looking west)



Figure 22  
Detail of arcade showing floor detail, plaster and ceiling detail along façade of  
Gould Indian Hall (looking east)



Figure 22  
Water Fountain on north elevation of Cartwright Interactions Hall (Looking southwest)



Figure 23  
Detail of Metal Lantern on east elevation of Fleischmann Auditorium



Figure 24  
Detail of wall fountain on south elevation of the 1922 Wing's courtyard (Looking south)



Figure 25  
Corridor on south side of the courtyard in the 1922 Wing, detail of scored  
concrete flooring and ceiling beams (Looking east)



Figure 26  
Corridor on the west side of the courtyard in the 1922 Wing, detail of flooring, piers and ceiling beams (Looking east)



Figure 27  
Corridor on the north elevation of the Cartwright Interactions Hall, detail of  
flooring and piers (Looking east)



Figure 28  
Education Building's east elevation with ramp to basement of Fleischmann Auditorium in foreground



Figure 29  
Loggia linking Marine/Paleontology/Geology Hall to Education Building  
(Looking south)



Figure 30  
East Elevation of Farrand Hall (Looking west)



Figure 31  
Alice Touhy Planetarium, Docent Library, and Offices (former Gladwin Planetarium and Koefod Library)  
(Looking southwest)



Figure 32  
Collections and Research Center (west elevation)  
(Looking southeast)



Figure 33  
Doris Fay Palmer Observatory  
(Looking north)



Figure 34  
Broder Building (Looking northeast)



Figure 35  
Hazard Estate Carriage House/Garage with wall in foreground (Looking south)



Figure 36  
Section of wall in front of Hazard Estate Carriage House/Garage  
(Looking south)



Figure 37  
Section of wall in front of Gould Indian Hall  
(Looking south)



Figure 38  
Section of wall adjacent to the northwest corner of Gould Indian Hall  
(Looking east)



Figure 39  
Section of wall adjacent to the northeast corner of Fleischmann  
Auditorium  
(Looking southwest)



Figure 40  
Interior section of wall adjacent to the northeast corner of the Bird  
Habitats Hall (Looking north)



Figure 41  
Sandstone steps leading up to the southwest corner of the Library  
(Looking north)



Figure 42  
Coggeshall Bowl (Looking south)



Figure 43  
Retaining wall in creek bed  
(Looking north)



Figure 44  
South Elevation of 653 Mission Canyon Road (Looking northwest)



Figure 45  
North Elevation of Hazard Estate Carriage House/Garage (Looking south)  
(with Hazard estate wall in foreground)



Figure 46  
South and West Elevations of Morehouse Residence and wall at 2560  
Puesta del Sol (Looking northeast)



Figure 47  
South Elevation of Morehouse Residence and wall at 2560 Puesta del Sol  
(Looking north)



Figure 48  
Gate in wall at 2560 Puesta del Sol (Looking east)



Figure 49  
North elevation of MacVeagh House with view of terrace and front door  
(Looking south)



Figure 50  
Detail of Front door on the North Elevation of 2560 Puesta del Sol (Looking south)



Figure 51  
Second Floor Porch at West End of North Elevation of 2560 Puesta del Sol  
(Looking south)



Figure 52  
One-Story Wing (original late 19<sup>th</sup> Century Cottage) at the East End of the  
South Elevation of MacVeagh House (Looking south)



Figure 53  
Northeast corner of MacVeagh House (Looking southwest)



Figure 54  
One-Story Wing at the South End of the East Elevation of MacVeagh House (Looking north)



Figure 55  
Two-Story Wing at the West End of the South Elevation of MacVeagh House (Looking northeast)



Figure 56  
One-Story Wing at the East End of the South Elevation of MacVeagh House (Looking north)



Figure 57  
The North Side of the Service Yard (courtyard) of MacVeagh House



Figure 58  
The north and East Elevations of MacVeagh Cottage (Looking west)



Figure 59  
The South and East Elevations of MacVeagh Cottage (Looking west)



Figure 60  
The North Elevation (east end) of MacVeagh Cottage (Looking south)



Figure 61  
The North Elevation (west end) of MacVeagh Cottage (Looking south)



Figure 62  
West Elevation of the Western Residence (Looking north)



Figure 63  
Outdoor Activity Area (looking west towards MacVeagh Cottage and Raptor Mews)



Figure 64  
Outdoor Activity Area (looking east towards the Collections and Research Center)



Figure 65  
Outdoor Activity Area (looking south towards Mission Creek)



Figure 66  
Looking south from along the west elevation of the Collections and Research Center



Figure 67  
Looking North from southwest corner of the Collections and Research Center



Figure 68  
East elevation of existing butterfly exhibit



Figure 69  
East and north elevations of the existing butterfly exhibit with Collections  
and Research Center



Figure 70  
West elevation of existing butterfly exhibit



Figure 71  
Looking southeast towards Main Museum Building



Figure 72  
West elevation of Hazard Estate wall (looking east)



Figure 73  
East elevation (interior side) of Hazard Estate wall (looking west)



Figure 74  
Pathway towards Fleischmann Auditorium (looking west)



Figure 75  
Pathway towards main entrance (looking east)



Figure 76  
Asphalt paving off southwest corner of Main Museum Building (looking north)



Figure 77  
Asphalt paving off southwest corner of Main Museum Building (looking southeast)



Figure 78  
Asphalt paving off southwest corner of Main Museum Building (looking south towards Mission Creek)



Figure 79  
South side of Mission Creek, looking north



Figure 80  
South side of Mission Creek looking east towards the Broder Building



Figure 81  
South side of Mission Creek looking west towards proposed location of Chumash Interpretive exhibit



Figure 82  
South Elevation of Main Museum Building (looking north)



Figure 83  
Restroom wing, west Elevation of Main Museum Building (looking southeast)



Figure 84  
Ramp at southeast corner of Fleischmann Auditorium  
(looking west)



Figure 85  
Southwest corner of Fleischmann Auditorium  
(looking northeast)

# APPENDIX A

(Project Plans)



Santa Barbara  
**Museum of Natural History**



Principal	Approver
Project Manager	Designer
Drawn By	Author
Reviewed By	Checker
Job No.	0606

Revisions:		
No.	Date	By

**NOT FOR  
 CONSTRUCTION**

12 March 2014

Schematic Design  
 Progress Set

Cover Sheet

**T1.0**

# SANTA BARBARA MUSEUM OF NATURAL HISTORY - 2559 Puesta del Sol Road

Renovation and Site Improvement

SCHEMATIC DESIGN PROGRESS SET - 10 JANUARY 2014

## PROJECT CONTACTS:

specialization	consultant	contact	email	office phone
architect (lead)	Schacht Aslani Architects	Walter Schacht (PIC)	walter@saarch.com	206.443.3448
	Schacht Aslani Architects	Cheryl Cohen (PM)	cherylc@saarch.com	206.443.3448
	Schacht Aslani Architects	Sarah Marshall	sarah@saarch.com	206.443.3448
architect (local)	Thompson Naylor Architects	Susette Naylor	Susette@thompsonnaylor.com	805.966.9807 x 12
	Flowers & Associates	Vern Williams	vwilliams@flowersassoc.com	805.966.2224 x 104
landscape	Van Atta Associates	Susan Van Atta	sva@va-la.com	805.730.7444 x 108
	Van Atta Associates	Guillermo Gonzalez	gg@va-la.com	805.730.7444
transportation	Associated Transportation Engineers	Scott Schell	SSchell@atesb.com	805.687.4418
mechanical	Mechanical Engineering Consultants	Tom Hughes	tom@meceng.com	805.957.4632 x 205
land use	Suzanne Elledge Planning & Permitting Services	Suzanne Elledge	suzanne@sepps.com	805.966.2758 x 14
structural	Ehlen, Spiess, & Haight	Jeffrey Haight	Jhaight@eshse.com	805.963.1210
electrical	Sparling	Dave Rosenberger	drosenberger@sparling.com	858.622.2710
fire protection & evacuation	DUDEK	Michael Huff	mhuff@dudek.com	760.479.4836
creek bank retaining wall	SAGE	Tom Sell		916.729.8050
hydrology/water quality	Flowers & Associates	Vern Williams	vwilliams@flowersassoc.com	805.966.2224
historic structures	Post Hazeltine	Pamela Post & Timothy Hazeltine	posthazeltine@cox.net	805.682.5751
archaeology	Applied EarthWorks	Ann Munns	amunns@appliedearthworks.com	805.737.4119
biological resources	Watershed Environmental	Mark de la Garza	mdelagarza@watershedenvironmental.com	805.876.5015
	Watershed Environmental	Melodee Hickman	mhickman@watershedenvironmental.com	805.876.5003
noise	DUDEK	Jonathan Leech	jleech@dudek.com	805.308.8527
cost estimator	Davis Langdon	Rick Lloyd	rlloyd@davislangdon.us	310.393.9411
surveyor	Davis Land Surveying	Steve Davis	steve@davis-land-surveying.com	805.564.8756
exhibit planner	Ralph Appelbaum Associates	Jennifer Whitburn	jenniferwhitburn@raany.com	212.334.8200
fire protection	Collings & Associates	Jack Collings	jcollings@collingsandassociates.com	805.658.0003

## PROJECT DATA:

**PROJECT DESCRIPTION:**  
Proposed Master Plan of potential improvements to the Museum's campus that are anticipated to be constructed over the next 15-years. The following project components are proposed: improved accessibility and ADA compliance, full renovations to Marine Paleo Exhibit Hall and the Restrooms, rehabilitation of Gould Hall, a range of interior repairs to existing buildings, a replacement butterfly exhibit, relocation of trash & recycling, mechanical equipment upgrades, landscape improvements, new fencing, enhancements to existing outdoor activity areas, and native habitat restoration.

**Owner:**  
SB Museum of Natural History, 2559 Puesta del Sol, Santa Barbara CA 93105

**City Land Use Zone Designation:**  
E-1

**County Zoning (Western Parcels):**  
20-R-1

**General Plan Use Designation:**  
Residential, 3 units/acre and Major Public/Institutional

**Project Site Parcel Numbers:**  
023-250-039, 023-250-056, 023-250-066, 023-271-003, 023-271-004

**Proposed Use/Occupancy:**  
A-3, B - Museum

**Parking Tabulation:**  
**Existing:** 150 + 6 ADA = 156 total  
**Proposed:** 148 + 7 ADA = 155 total

**Average Slope of Property:**  
4% (cross-section running East-West)

**Total Main Campus:**  
15.43 acres = 672,131 SF

**Building Footprint:**  
Existing Campus = 85,128 SF  
13.6% of project site

**Building Area (gross):**  
Existing Museum Buildings = 83,295 SF  
Existing Residential Buildings = 4,545 SF

**Building Area (gross):**  
Existing + Proposed Museum Buildings = 83,101 SF  
Existing + Proposed Residential Buildings = 4,545 SF (no change)

**Existing Impervious Surfaces (includes structures and paving):**  
205,200 SF

**Impervious Surface Replaced (Area):**  
16,500 SF (replaced with permeable paving)  
4,700 SF (replaced with landscaping)

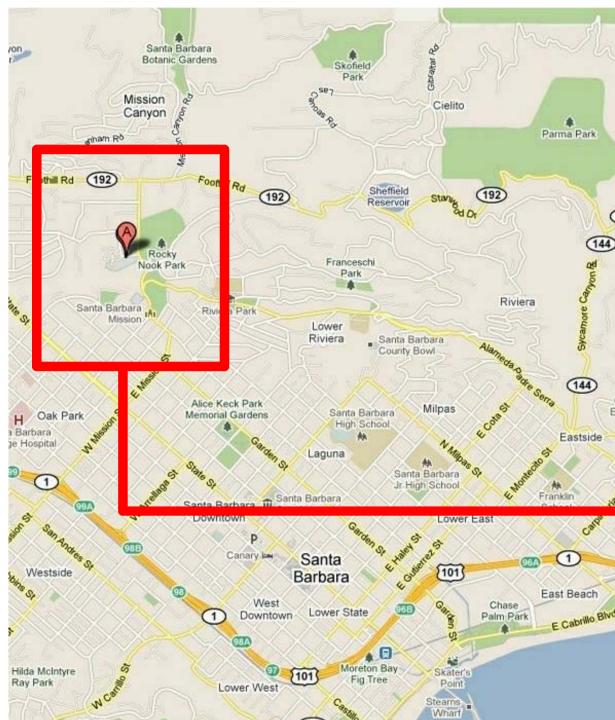
**Permeable Surface Replaced (Area):**  
480 SF (replaced with concrete)

**Net Impervious Surface Area Reduction (Area):**  
20,720 SF

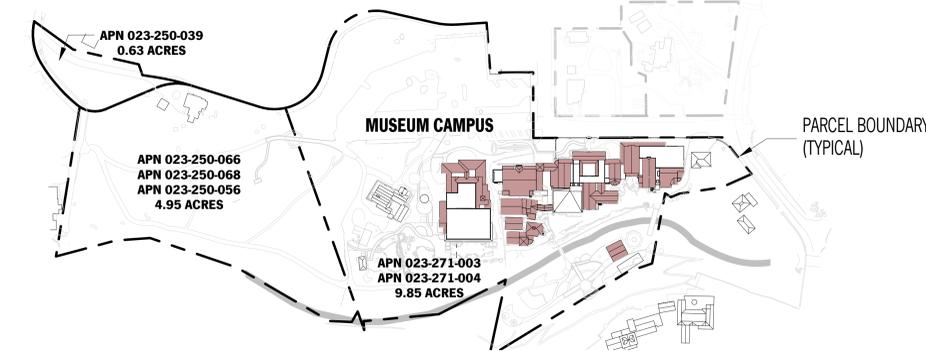
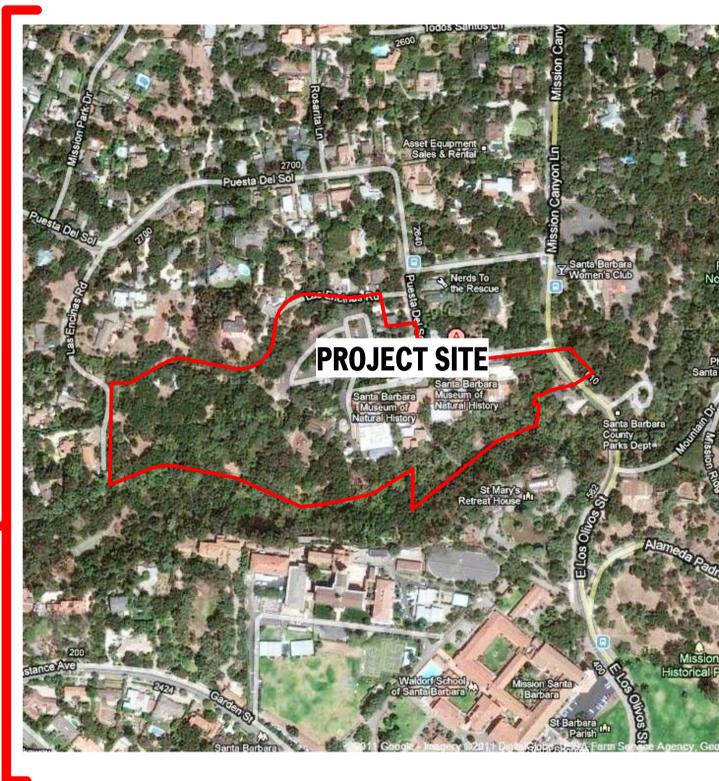
## SET SHEET LIST:

- 00 GENERAL
  - T1.0 Cover Sheet
  - T1.1 Project Info
  - T1.2 Project Info
  - T1.3 Scope Diagrams
  - T1.4 Pending Project Plan
- 01 CIVIL
  - C-1 Preliminary Grading & Drainage Plan
  - C-2 Preliminary Grading & Drainage Plan
- 02 LANDSCAPE
  - L1.0 Overall Site Plan
  - L1.1 Partial Site Plan
  - L1.2 Partial Site Plan
  - L1.3 Backyard Sections
  - L2.0 Butterfly Garden Exhibit
- 03 Transportation
  - AT1.11 Site Plan - Parking
- 04 ARCHITECTURAL
  - AD1.11 Demolition Site Plan
  - AD2.21 Demolition Floor Plan - Lower Level Central
  - AD2.22 Demolition Floor Plan - Main Level Central
  - AD2.23 Demolition Roof Plan - Central
  - AD3.11 Demolition Elevations
  - AD3.12 Demolition Elevations
  - AD3.21 Demolition Sections
  - AD4.11 Demolition Floor Plans & Elevations
- 05 ARCHITECTURAL
  - A1.11 Site Plan
  - A2.21 Floor Plan - Lower Level Central
  - A2.22 Floor Plan - Main Level Central
  - A2.23 Roof Plan - Central
  - A2.31 Floor Plan - Main Level East
  - A2.32 Roof Plan - East
  - A2.33 Door & Window Types
  - A3.11 Elevations
  - A3.12 Elevations
  - A3.21 Building Sections
  - A4.12 Enlarged Section & Elevations
  - A4.13 Enlarged Plans & Elevations
  - A5.11 Vintette

## VICINITY MAP:



## SITE CONTEXT:



1 T1.1  
1" = 160'-0"



Principal Approver  
Project Manager Designer  
Drawn By Author  
Reviewed By Checker  
Job No. 0606

Revisions:  
No. Date By

**NOT FOR  
CONSTRUCTION**

12 March 2014

Schematic Design  
Progress Set

Project Info

T1.1

GROSS SQUARE FOOTAGE SUMMARY:

DART GROSS CALCULATIONS

GROSS SF BY BLDG

	Existing			Existing & Proposed					
	Basement	First	Second	Total	Demolish	Renovate/ Rehabilitation	Light Interior Improvement	Construct	Total
<b>Main Campus Buildings</b>									
Dennis Power Bird Hall	1,218 SF	4,203 SF	0 SF	5,421 SF			3,100 SF		5,421 SF
Maximus Art Gallery	2,354 SF	2,231 SF	0 SF	4,585 SF					4,585 SF
Administration	1,167 SF	1,507 SF	1,524 SF	4,198 SF					4,198 SF
Luria Hall	728 SF	1,856 SF	0 SF	2,584 SF					2,584 SF
Marine/Paleontology/Geology Hall	3,280 SF	3,949 SF	276 SF	7,505 SF	276 SF	7,229 SF			7,229 SF
Education Center		3,114 SF	0 SF	3,114 SF					3,114 SF
Farrand Hall		1,104 SF	0 SF	1,104 SF					1,104 SF
Planetarium & Living Planet Exhibit		2,507 SF	663 SF	3,170 SF			2,507 SF		3,170 SF
Collections & Research Center		17,362 SF	5,736 SF	23,098 SF			875 SF		23,098 SF
Library	705 SF	2,514 SF	631 SF	3,850 SF			1,300 SF		3,850 SF
Mammal Hall		2,084 SF		2,084 SF					2,084 SF
Cartwright Hall & Interactions Lab		2,038 SF		2,038 SF			1,390 SF		2,038 SF
Original Quad		3,667 SF		3,667 SF			1,740 SF		3,667 SF
Gould Indian Hall		1,446 SF		1,446 SF		1,446 SF			1,446 SF
Fleischmann Auditorium	2,640 SF	5,699 SF	109 SF	8,448 SF					8,448 SF
Broder Pavilion		875 SF		875 SF			875 SF		875 SF
Raptor Mews		648 SF		648 SF					648 SF
MacVeagh Offices		2,588 SF	1,238 SF	3,826 SF			740 SF		3,826 SF
MacVeagh Cottage		475 SF		475 SF					475 SF
Restrooms		652 SF		652 SF		652 SF		82 SF	734 SF
Observatory		359 SF		359 SF					359 SF
Shed		148 SF		148 SF					148 SF
				<b>Total</b>				<b>Total</b>	<b>83,101 SF</b>

Butterfly Garden Exhibit		3,305 SF		3,305 SF	3,305 SF			3,702 SF	3,702 SF
--------------------------	--	----------	--	----------	----------	--	--	----------	----------

Residential Buildings	Basement	First	Second	Total
Western Residence		2,035 SF		2,035 SF
MacVeagh House Residence		601 SF		601 SF
(Hazard) Carriage House		867 SF	1,042 SF	1,909 SF
				<b>Total</b>
				<b>4,545 SF</b>



SANTA BARBARA MUSEUM OF NATURAL  
HISTORY

2559 Puesta Del Sol Road  
Santa Barbara, CA

Principal Approver  
Project Manager Designer  
Drawn By Author  
Reviewed By Checker  
Job No. 0606

Revisions:  
No. Date By

**NOT FOR  
CONSTRUCTION**

12 March 2014

Schematic Design  
Progress Set

Project Info

**T1.2**



SANTA BARBARA MUSEUM OF NATURAL  
HISTORY

2559 Puesta Del Sol Road  
Santa Barbara, CA



1  
T1.3  
MAIN LEVEL PLAN - SCOPE DIAGRAM  
1/16" = 1'-0"

COLOR LEGEND

- LIGHT INTERIOR IMPROVEMENTS COULD INCLUDE: LIGHTING, FLOORING, PAINT, REMOVAL OF BUILT-INS OR CASEWORK, MAINTENANCE IMPROVEMENTS, EXHIBIT ENHANCEMENTS, NEW INTERIOR PARTITIONS, NEW DOOR OPENING, OR SOUNDPROOFING
- COMPREHENSIVE RENOVATION
- REHABILITATION



2  
T1.3  
MACVEAGH MAIN LEVEL- SCOPE DIAGRAM  
1/16" = 1'-0"

Principal	Approver
Project Manager	Designer
Drawn By	Author
Reviewed By	Checker
Job No.	0606

Revisions:			
No.	Date	By	

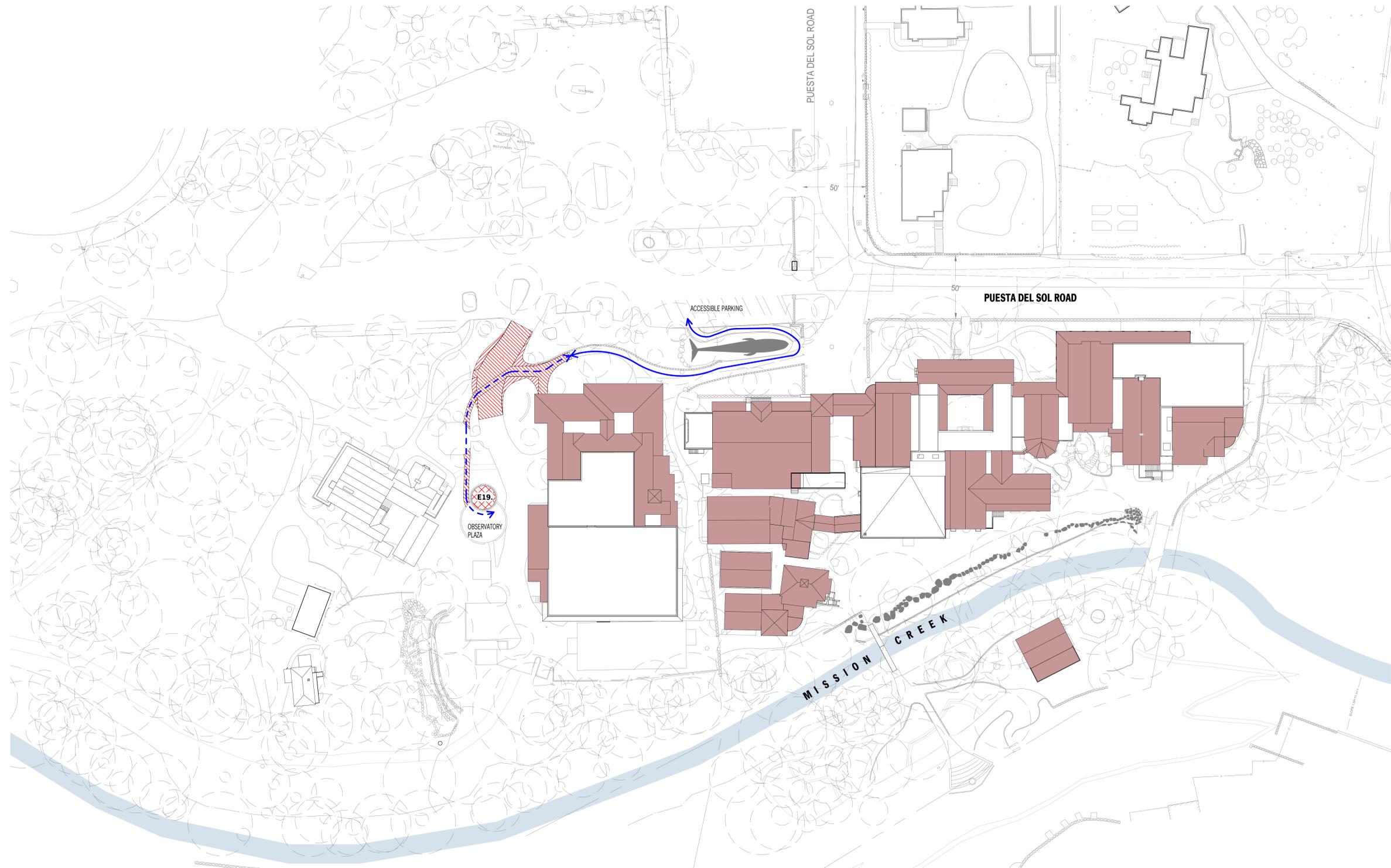
**NOT FOR  
CONSTRUCTION**

12 March 2014

Schematic Design  
Progress Set

Scope Diagrams

T1.3



1 SITE PLAN - PENDING PERMIT PROJECT  
T1.4 1/32" = 1'-0"

**NOTE:**  
 ABOVE PLAN PROVIDED FOR REFERENCE. OBSERVATORY DOME REPLACEMENT PROJECT AND ASSOCIATED ADA ACCESS IMPROVEMENTS IS PENDING PERMIT IN 2014 UNDER PERMIT BLD2011-01776.  
 FOR MORE INFORMATION ON SITE IMPROVEMENTS FOR THIS PENDING PROJECT REFER TO CIVIL AND LANDSCAPE DRAWINGS.

**LEGEND**

-  SITE IMPROVEMENTS - GRADING, PAVING
-  BUILDING IMPROVEMENTS - DOME INSTALLATION
-  (E) ACCESSIBLE PEDESTRIAN PATH
-  (N) ACCESSIBLE PEDESTRIAN PATH

**EXISTING STRUCTURE:**  
 E19. OBSERVATORY



Principal	Approver
Project Manager	Designer
Drawn By	Author
Reviewed By	Checker
Job No.	0606

Revisions:	No.	Date	By
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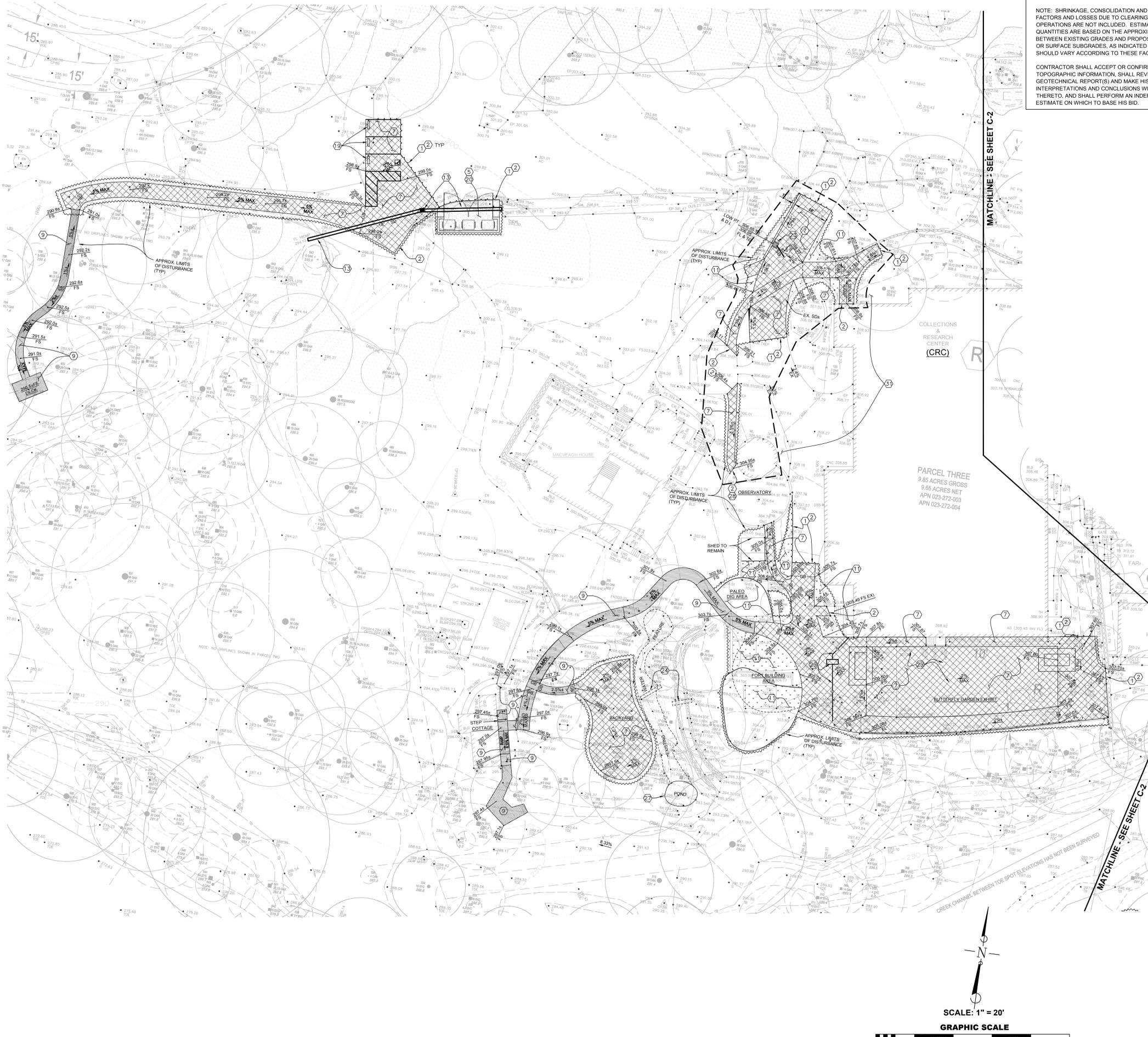
**NOT FOR**  
**CONSTRUCTION**

12 March 2014

Schematic Design  
 Progress Set

Pending Project  
 Plan

**T1.4**



**PRELIMINARY ESTIMATED EARTHWORK QUANTITIES:**

EXCAVATION: 2,000 CUBIC YARDS

EMBANKMENT: 200 CUBIC YARDS

NOTE: SHRINKAGE, CONSOLIDATION AND SUBSIDENCE FACTORS AND LOSSES DUE TO CLEARING AND DEMOLITION OPERATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES ARE BASED ON THE APPROXIMATE DIFFERENCE BETWEEN EXISTING GRADES AND PROPOSED FINISH GRADES OR SURFACE SUBGRADES, AS INDICATED ON THE PLANS, AND SHOULD VARY ACCORDING TO THESE FACTORS AND LOSSES.

CONTRACTOR SHALL ACCEPT OR CONFIRM EXISTING TOPOGRAPHIC INFORMATION. SHALL REVIEW THE SITE AND THE GEOTECHNICAL REPORT(S) AND MAKE HIS OWN INTERPRETATIONS AND CONCLUSIONS WITH RESPECT THERETO, AND SHALL PERFORM AN INDEPENDENT EARTHWORK ESTIMATE ON WHICH TO BASE HIS BID.

- PROPOSED IMPROVEMENTS LEGEND**
- SAWCUT EXISTING HARDSURFACE
  - APPROXIMATE LIMIT OF DISTURBANCE
  - CONCRETE PAVEMENT
  - ASPHALT PAVEMENT
  - PERMEABLE SURFACE
  - COMPOSITE MATERIAL DECKING
  - EXISTING PAVED AREA REMOVED AND CONVERTED TO LANDSCAPE AREA
- PROPOSED IMPROVEMENTS LEGEND - ALL SHEETS**
- 1 ASPHALT AND CONCRETE SAW-CUT.
  - 2 MATCH EXISTING IMPROVEMENT
  - 3 CONCRETE CURB, GUTTER & SIDEWALK PER SANTA BARBARA CITY STANDARDS.
  - 4 ASPHALT CONCRETE (A.C.) PAVEMENT.
  - 5 CONCRETE PAVEMENT.
  - 6 RETAINING WALL.
  - 7 PERMEABLE SURFACE PER DETAILS ON LANDSCAPE ARCHITECT'S PLANS AND ON SHEET C-2.
  - 8 DRY STACK STONE RETAINING WALL (3 FT. MAX. HEIGHT).
  - 9 DECKING & SUPPORT PER ARCHITECT.
  - 10 STAIRS PER ARCHITECT.
  - 11 LANDSCAPE AREA OR FEATURE.
  - 12 PATIO OR PORCH PER ARCHITECT.
  - 13 REPLACE EXISTING 18" DIA. STORM DRAIN AND RAISE EXISTING DRAIN INLET GRATE.
  - 14 FENCE AND/OR GATE PER ARCHITECT.
  - 15 PRESERVE EXISTING STONE WALL.
  - 16 STACKED BOULDER SLOPE RETENTION @ 1:1 MAX.
  - 17 TRUNCATED DOME PEDESTRIAN WARNING STRIP.
  - 18 REMOVABLE TRAFFIC BOLLARDS.
  - 19 CONCRETE WHEEL STOP.
  - 20 TRASH ENCLOSURE PER ARCHITECT. SEE DETAIL ON SHEET C-2 FOR SLAB SECTION.
  - 21 NOT USED.
  - 22 NOT USED.
  - 23 NOT USED.
  - 24 NOT USED.
  - 25 NOT USED.
  - 26 EXISTING WATER, ELECTRIC AND GAS SERVICE LINES UNDER EXISTING BRIDGE.
  - 27 EXISTING POND TO BE RECONSTRUCTED PER LANDSCAPE ARCHITECT. DEPTH = 12" APPROXIMATELY AS NECESSARY TO ACCOMMODATE NEW WORK.
  - 28 SAW-CUT, REMOVE AND RECONSTRUCT EXISTING IMPROVEMENT AS NECESSARY TO ACCOMMODATE NEW WORK.
  - 29 RELOCATE EXISTING INTERCEPTOR VAULT AS SHOWN AND REROUTE SEWER LINES TO ACCOMMODATE NEW LOCATION AND TO TIE INTO THE EXISTING SEWER MAIN PER S.B. CITY SEWER DISTRICT REQUIREMENTS. CAP EXISTING SEWER LINE AT WYE TIE-IN TO MAIN SEWER.
  - 30 PROPOSED AIR CONDITIONING UNIT CONCRETE PAD.
  - 31 OBSERVATORY PROJECT ADA ACCESS IMPROVEMENTS IS PENDING PERMIT IN 2014 UNDER PERMIT BLD2011-01776. EXTENTS OF IMPROVEMENTS PROVIDED FOR REFERENCE ONLY.

- Future/Final plans will include the following measures to protect surface water quality and on-site biological resources:**
- EROSION SEDIMENT CONTROL GENERAL NOTES:**
1. Construction activities shall comply with the California Code of Regulations, Title 24.
  2. The contractor shall comply with the terms of the City of Santa Barbara's "Procedures for the Control of Runoff into Storm Drains and Watercourses" and the City of Santa Barbara's "Erosion/Sedimentation Control Policy."
  3. The contractor shall adhere to the City's best management practices for "minor construction activities":
    - Stockpiles of earth, sand and other construction related materials must be protected from being transported from the site by the forces of wind or water. This includes sand for slucos, drywall demolition debris, drywall "mud" packaging, etc.
    - Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills may not be washed into the drainage systems.
    - Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the site.
    - Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions must be made to retain concrete waste on site until they can be disposed of as a solid waste.
    - Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
    - Sediments and other material may not be traced from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way adjacent to the site.
  4. Prior to the start of construction, the contractor shall implement, maintain, and monitor:
    - BMP implementation schedule for the various phases of construction.
    - Training seminar with employees, subcontractors, and material suppliers, as appropriate.
    - Construction entrance / exit (tracking control).
    - Hazardous material storage area (if applicable).
    - Spill prevention and control.
    - Hazardous waste management.
    - Liquid waste management.
    - Paving and grinding operations (if applicable).
    - Water conservation practices.
    - Illicit connection / discharge.
    - Potable water / irrigation water runoff / release.
    - Concrete finishing (if applicable).
    - Material delivery, storage, and use.
  5. Once ground disturbance has begun the contractor shall ensure implementation, maintenance and monitoring of the following:
    - Wind erosion (dust) control.
    - Silt fence and gravel bag berm when forecast of rain probability is 50% or greater.
    - Straw bale, gravel bag, and/or sandbag barrier when forecast of rain probability is 50% or greater.
    - Storm drain inlet protection when forecast of rain probability is 50% or greater.
    - Stockpile management when forecast of rain probability is 50% or greater.
  6. The erosion / sediment control plan and details are based on the site being developed as depicted thereby when the plan is implemented. These measures may not be suitable at all stages of construction and under all storm conditions, without modification and / or maintenance. Implementation of this plan shall not relieve the contractor of responsibility for appropriate construction site erosion control measures. Contractor shall employ all labor, equipment, materials and methods necessary to prevent discharge from the site of silt (mud), debris, or any other pollutant.
  7. The contractor shall direct adaptation of the BMP measures throughout the construction period as necessary to address changing site conditions, construction materials, and construction methods to prevent the discharge of pollutants from the project site.
  8. The location and extent of the various BMP's shall be reviewed at the site by the contractor throughout the installation process. The locations of the various BMP's may require adjustment due to changing site conditions and additional installations may be required by the owner, owners representative or City / County / state agency.
  9. All BMP's shall be inspected by the contractor and repaired as required in the notes on this sheet.
  10. The contractor shall maintain ongoing records of changes or amendments to the BMP's.
  11. The contractor shall immediately address any deficiencies in implementation or adequacy of the BMP's identified by the owner, owner's representation or city / county / state agency.
  12. Failure of the contractor to properly direct implementation of the best management practices listed for the project may result in fines being levied against the owner or the contractor by the state regional water quality control board or the City.
  13. Soil material shall be stockpiled such that it cannot gain result in sediment transport on or off-site; other pollutants collected shall be removed from the site and disposed of in a proper and legal manner.
  14. During the rainy season, the site shall be maintained such that no sediment or other pollutant-laden runoff enters the storm drainage system or sheet-flows offsite.
  15. Pollutant deposits shall be removed from BMP's after each storm to restore their capacity.
  16. Erosion/sediment control measures shall be inspected and repaired as necessary before each storm and as called for in the notes below.
  17. The locations of swales, straw bale dikes / weirs and silt fences may require adjustment due to changing site conditions and additional installations may be required by the inspector.
  18. During the rainy season, all paved areas shall be kept clear of soil material and debris. The site shall be maintained such that no sediment-laden runoff enters the storm drainage system or sheet-flows offsite.
  19. A standby crew shall be available for emergency work during rainstorms and shall remain onsite as needed to maintain erosion / sediment control measures during periods of precipitation.
  20. The contractor shall ensure that BMP's are not installed in a manner that causes ponding or diversion of water from drainage inlets resulting in damage to property.
  21. Nothing on these plans / specifications is intended to conflict with or supersede the details / specifications in the CASQA handbook.

**schacht | aslani architects**

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**FLOWERS & ASSOCIATES, INC.**  
CIVIL ENGINEERS  
201 N. CALLE CESAR CHAVEZ, SUITE 100  
SANTA BARBARA, CA 93103  
PHONE: (805) 965-2224  
FAX: (805) 965-3372

**Santa Barbara Museum of Natural History**  
SCHEMATIC DESIGN PROGRESS SET  
2559 Puesta Del Sol Road  
Santa Barbara, CA

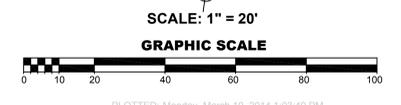
Principal **VEW**  
Project Manager **RGR/VEW**  
Drawn By **AST**  
Reviewed By **VEW**  
SAA Job No. **0606**

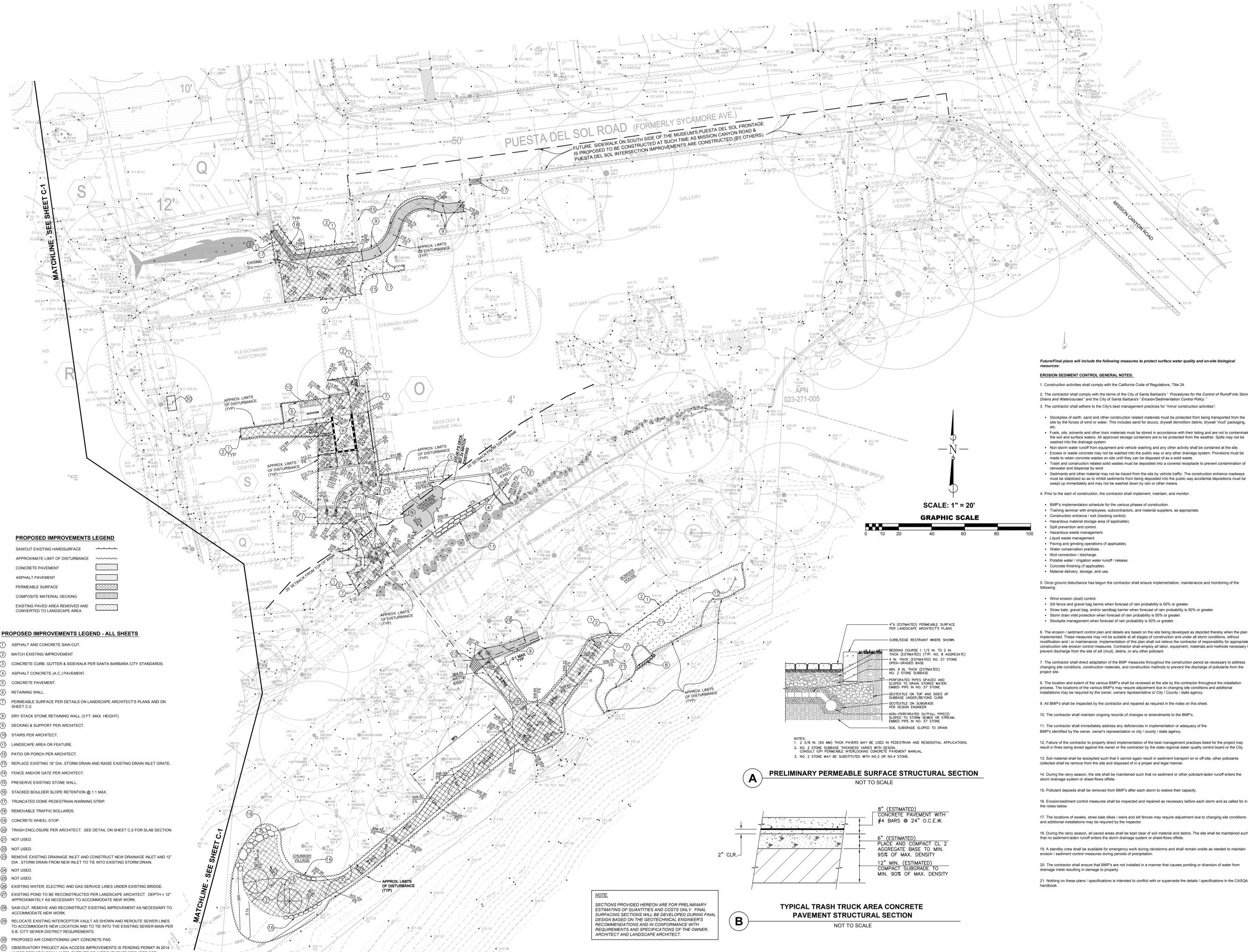
Revisions:  
No. Date By

**NOT FOR CONSTRUCTION**

3-12-2014

Schematic Design Progress Set  
**C-1**  
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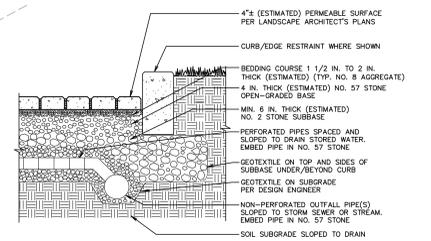
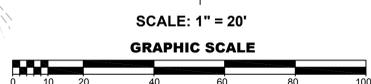
**PROPOSED IMPROVEMENTS LEGEND**

SAWCUT EXISTING HARDSURFACE	
APPROXIMATE LIMIT OF DISTURBANCE	
CONCRETE PAVEMENT	
ASPHALT PAVEMENT	
PERMEABLE SURFACE	
COMPOSITE MATERIAL DECKING	
EXISTING PAVED AREA REMOVED AND CONVERTED TO LANDSCAPE AREA	

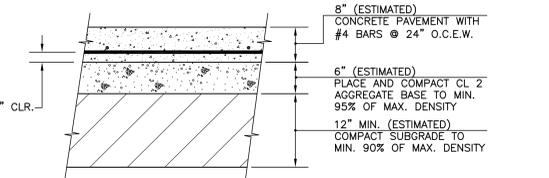
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  - ASPHALT CONCRET (A, C) PAVEMENT.
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  - DRY STACK STONE RETAINING WALL (3 FT. MAX. HEIGHT).
  - DECKING & SUPPORT PER ARCHITECT.
  - STAIRS PER ARCHITECT.
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  - PATIO OR PORCH PER ARCHITECT.
  - REPLACE EXISTING 18" DIA. STORM DRAIN AND RAISE EXISTING DRAIN INLET GRATE.
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  - REMOVABLE TRAFFIC BOLLARDS.
  - CONCRETE WHEEL STOP.
  - TRASH ENCLOSURE PER ARCHITECT. SEE DETAIL ON SHEET C-2 FOR SLAB SECTION.
  - NOT USED.
  - NOT USED.
  - REMOVE EXISTING DRAINAGE INLET AND CONSTRUCT NEW DRAINAGE INLET AND 12" DIA. STORM DRAIN FROM NEW INLET TO THE INTO EXISTING STORM DRAIN.
  - NOT USED.
  - NOT USED.
  - EXISTING WATER, ELECTRIC AND GAS SERVICE LINES UNDER EXISTING BRIDGE.
  - EXISTING POND TO BE RECONSTRUCTED PER LANDSCAPE ARCHITECT. DEPTH = 12" APPROXIMATELY AS NECESSARY TO ACCOMMODATE NEW WORK.
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  - OBSERVATORY PROJECT ADA ACCESS IMPROVEMENTS IS PENDING PERMIT IN 2014 UNDER PERMIT BLD2011-01776. EXTENTS OF IMPROVEMENTS PROVIDED FOR REFERENCE ONLY.

**NOTE:**  
 SECTIONS PROVIDED HEREON ARE FOR PRELIMINARY ESTIMATING OF QUANTITIES AND COSTS ONLY. FINAL SURFACING SECTIONS WILL BE DEVELOPED DURING FINAL DESIGN BASED ON THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND IN CONFORMANCE WITH REQUIREMENTS AND SPECIFICATIONS OF THE OWNER, ARCHITECT AND LANDSCAPE ARCHITECT.

- Future/Final plans will include the following measures to protect surface water quality and on-site biological resources:**
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    - Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
    - Sediments and other material may not be traced from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way accidental discharges must be swept up immediately and may not be washed down by rain or other means.
  - Prior to the start of construction, the contractor shall implement, maintain, and monitor:
    - BMP's implementation schedule for the various phases of construction.
    - Training seminar with employees, subcontractors, and material suppliers, as appropriate.
    - Construction entrance / exit (tracking control).
    - Hazardous material storage area (if applicable).
    - Spill prevention and control.
    - Hazardous waste management.
    - Liquid waste management.
    - Paving and grinding operations (if applicable).
    - Water conservation practices.
    - Wast collection / discharge.
    - Potable water / irrigation water runoff / release.
    - Concrete finishing (if applicable).
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    - Wind erosion (dust) control.
    - Silt fence and gravel bag berms when forecast of rain probability is 50% or greater.
    - Straw bale, gravel bag, and/or sandbag barrier when forecast of rain probability is 50% or greater.
    - Storm drain inlet protection when forecast of rain probability is 50% or greater.
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  - Failure of the contractor to properly direct implementation of the best management practices listed for the project may result in fines being levied against the owner or the contractor by the state regional water quality control board or the City.
  - Soil material shall be stockpiled such that it cannot again result in sediment transport on or off-site; other pollutants collected shall be removed from the site and disposed of in a proper and legal manner.
  - During the rainy season, the site shall be maintained such that no sediment or other pollutant-laden runoff enters the storm drainage system or sheet-flows offsite.
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  - A standby crew shall be available for emergency work during rainstorms and shall remain onsite as needed to maintain erosion / sediment control measures during periods of precipitation.
  - The contractor shall ensure that BMP's are not installed in a manner that causes ponding or diversion of water from drainage inlets resulting in damage to property.
  - Nothing on these plans / specifications is intended to conflict with or supersede the details / specifications in the CASQA handbook.



- NOTES:**
- 2 3/8" N. (60 MM) THICK PAVERS MAY BE USED IN PEDESTRIAN AND RESIDENTIAL APPLICATIONS.
  - NO. 2 STONE SUBGRADE THICKNESS VARIES WITH DESIGN. CONSULT ICI PERMEABLE INTERLOCKING CONCRETE PAVEMENT MANUAL.
  - NO. 2 STONE MAY BE SUBSTITUTED WITH NO.3 OR NO.4 STONE.



Principal	VEW
Project Manager	RGR/VEW
Drawn By	AST
Reviewed By	VEW
SAA Job No.	0606

Revisions:  
 No. Date By

**NOT FOR CONSTRUCTION**

3-12-2014

Schematic Design Progress Set

**C-2**

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 W.O.0439B

landscape concept

The Santa Barbara Museum of Natural History's climate and natural beauty results in the perfect setting for a Museum where the experience of the landscape is as important as the collections and exhibits. The Landscape Master Plan proposes a landscape that rehabilitates and preserves cultural landscape features, as well as the Mission Creek riparian corridor and adjacent woodland. The proposed plan enhances the site for educational experiences, sustainable practices, way finding, and universal access.

The natural areas serve as laboratories for research and provide venues for living collections. In addition, the following gardens provide adjunct educational experiences for the indoor galleries, exhibits and collections. These natural area and garden themes include:

**Cultural/Vernacular Garden**  
As revealed in the historic photographs of the site, the gardens around the legacy buildings and parking lot were composed largely of large existing boulders and oak trees. This proposed plan preserves the historic nature of the core setting and rehabilitates degraded areas within this core, including the succulent garden created in the 1920's.

**Ethnobotany Garden**  
As part of the riparian corridor along a portion of the South bank of Mission Creek, the Basket Making and Ethnobotany Gardens highlight the relationship between the site, Chumash, and their use of plants. These riparian plants (such as basket rush) bring important early historical activities, such as basket making, alive.

**Butterfly Garden Exhibit**  
The Butterfly Garden updates a long-standing temporary exhibit. This permanent exhibit allows for the planting of beautifully flowering and longer lasting small trees and shrubs to provide nectar, as well as a traditional fountain to provide water, to the visiting butterflies. Sustainable practices in this exhibit include permeable paving to allow for maximum water infiltration and rainwater harvesting to capture and clean rainwater.

**Woodland Buffer Garden**  
Native trees and large shrubs will be planted North of the existing parking lot to provide screening to the adjacent neighborhood.

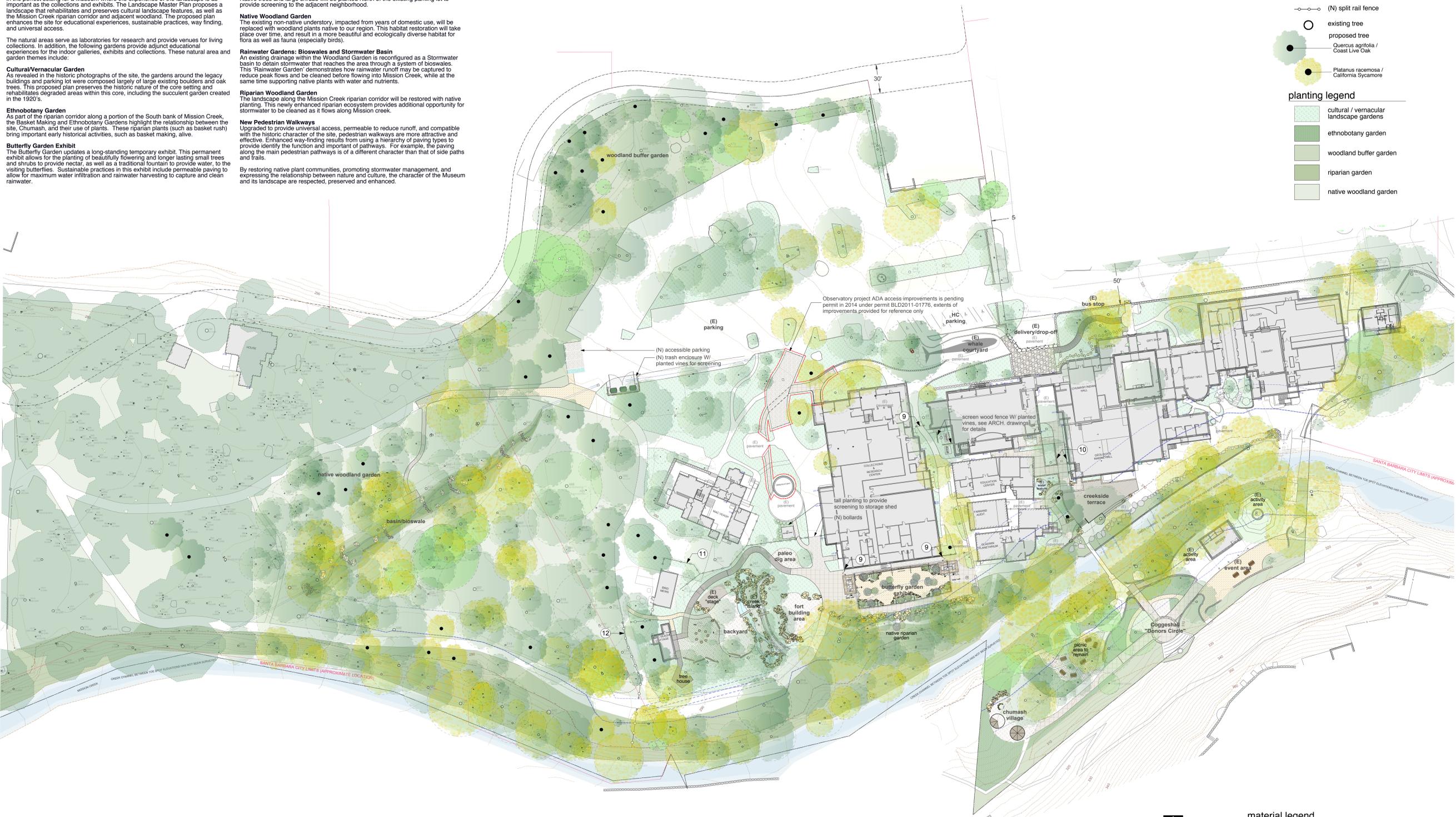
**Native Woodland Garden**  
The existing non-native understory, impacted from years of domestic use, will be replaced with woodland plants native to our region. This habitat restoration will take place over time, and result in a more beautiful and ecologically diverse habitat for flora as well as fauna (especially birds).

**Rainwater Gardens: Bioswales and Stormwater Basin**  
An existing drainage within the Woodland Garden is reconfigured as a Stormwater basin to detain stormwater that reaches the area through a system of bioswales. This "Rainwater Garden" demonstrates how rainwater runoff may be captured to reduce peak flows and be cleaned before flowing into Mission Creek, while at the same time supporting native plants with water and nutrients.

**Riparian Woodland Garden**  
The landscape along the Mission Creek riparian corridor will be restored with native planting. This newly enhanced riparian ecosystem provides additional opportunity for stormwater to be cleaned as it flows along Mission creek.

**New Pedestrian Walkways**  
Upgraded to provide universal access, permeable to reduce runoff, and compatible with the historic character of the site, pedestrian walkways are more attractive and effective. Enhanced way-finding results from using a hierarchy of paving types to provide identify the function and important of pathways. For example, the paving along the main pedestrian pathways is of a different character than that of side paths and trails.

By restoring native plant communities, promoting stormwater management, and expressing the relationship between nature and culture, the character of the Museum and its landscape are respected, preserved and enhanced.



1 site plan



2 permeable decorative unit paver



3 permeable flagstone paver



4 permeable concrete



5 deck/boardwalk



6 decomposed granite



7 engineered wood fiber



8 mulch



9 ornamental iron gate



10 ornamental iron railing



11 existing wood screen fence @ mcveigh cottage



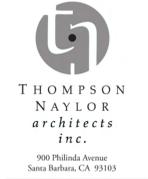
12 milled rail and post fence

material legend

- permeable pavement
  - permeable decorative unit paver 2
  - permeable flagstone paver 3
  - permeable concrete 4
- permeable walkable surface
  - deck/boardwalk  
Tree fire rated ASTM E84 class A or B 5
  - decomposed granite 6
  - engineered wood fiber 7
  - mulch 8
- impervious pavement
  - natural color concrete

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235 Palms Avenue  
Santa Barbara, California 93107

Santa Barbara Museum of Natural History  
Schematic Design  
Santa Barbara, California

Principal SVA  
Project Manager GG  
Drawn By GG/LF  
Reviewed By Job No. 10-16

Revisions:

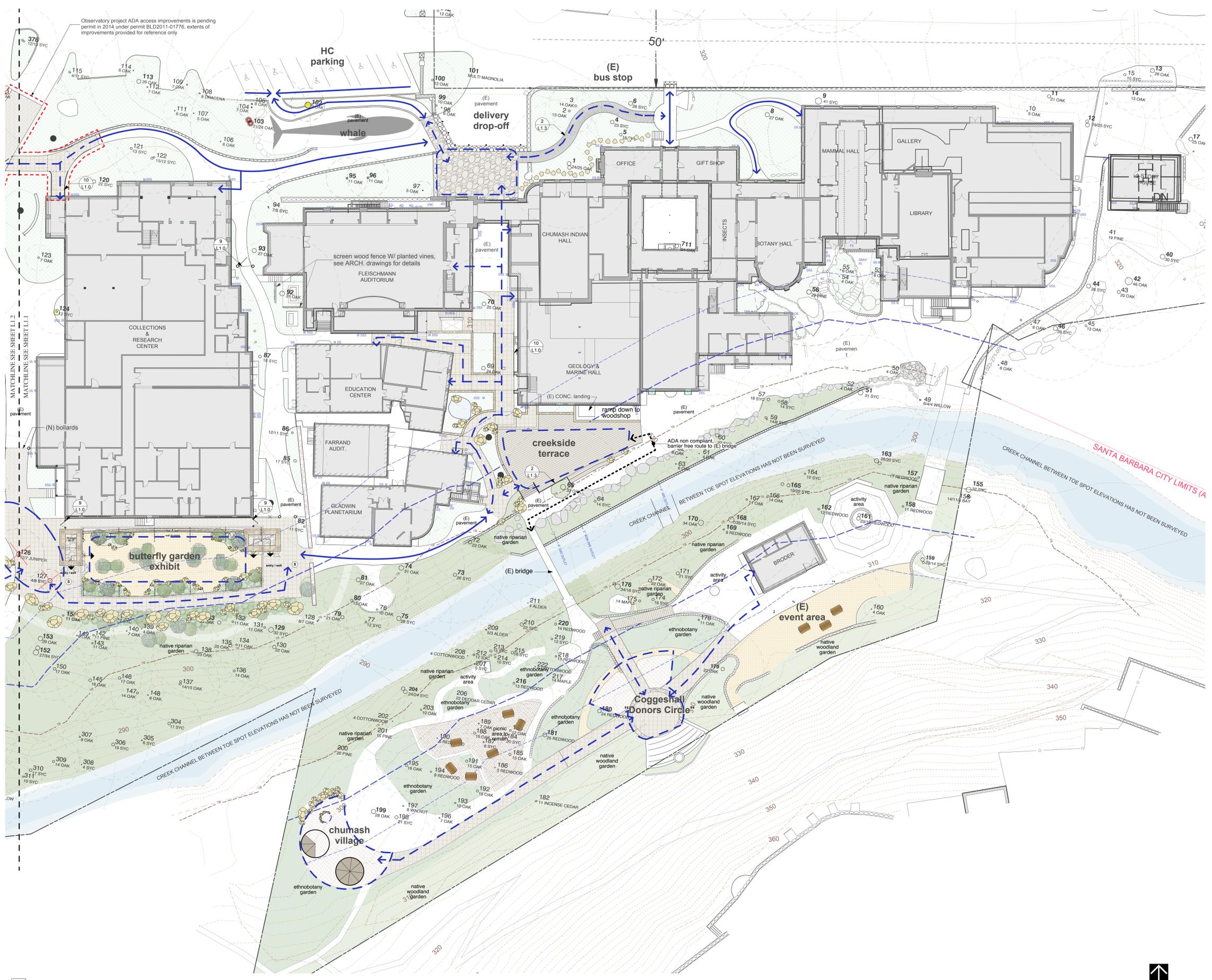
No.	Date	By

12 MARCH, 2014

Schematic Design  
Progress Set

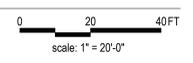
OVERALL  
SITE PLAN  
L1.0

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- legend**
- (N) wood fence
  - (N) rail & post fence
  - existing tree
  - proposed tree
  - existing tree to be removed
- site accessibility legend**
- (E) accessible pedestrian path
  - (N) accessible pedestrian path
  - (N) accessible area
  - (N) pedestrian path
  - (N) unimproved foot trail
- material legend**
- permeable pavement
- permeable decorative unit paver (2) (L1.0)
  - permeable flagstone paver (3) (L1.0)
  - permeable concrete (4) (L1.0)
- permeable walkable surface
- deck/boardwalk Trex fire rated ASTM E84 class A or B (5) (L1.0)
  - decomposed granite (6) (L1.0)
  - engineered wood fiber (7) (L1.0)
  - mulch (8) (L1.0)
- impervious pavement
- natural color concrete
- planting legend**
- cultural / vernacular landscape gardens
  - ethnobotany garden
  - woodland buffer garden
  - riparian garden
  - native woodland garden

1 partial site plan



**Santa Barbara Museum of Natural History**  
**Schematic Design**  
Santa Barbara, California

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Project Manager GG  
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Schematic Design  
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**PARTIAL**  
**SITE PLAN**  
**L1.1**



- legend**
- (N) wood fence
  - (N) rail & post fence
  - existing tree
  - proposed tree
  - existing tree to be removed
- site accessibility legend**
- (E) accessible pedestrian path
  - (N) accessible pedestrian path
  - (N) accessible area
  - (N) pedestrian path
  - (N) unimproved foot trail
- material legend**
- permeable pavement
- permeable decorative unit paver (2) L1.0
  - permeable flagstone paver (3) L1.0
  - permeable concrete (4) L1.0
- permeable walkable surface
- deck/boardwalk Trex fire rated ASTM E84 class A or B (5) L1.0
  - decomposed granite (6) L1.0
  - engineered wood fiber (7) L1.0
  - mulch (8) L1.0
- impervious pavement
- natural color concrete
- planting legend**
- cultural / vernacular landscape gardens
  - ethnobotany garden
  - woodland buffer garden
  - riparian garden
  - native woodland garden

1 partial site plan

0 20 40 FT  
scale: 1" = 20'-0"

Santa Barbara Museum of Natural History  
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Santa Barbara, California

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Progress Set

PARTIAL  
SITE PLAN  
L1.2



**3** Backyard "Creek" Water Feature

SCALE: 1/4"=1'-0"

SECTION



**5** (E) Backyard "Creek" Water Feature

SCALE: 1/4"=1'-0"

VIEW MID-RUN



**4** (E) Backyard "Creek" Water Feature

SCALE: 1/4"=1'-0"

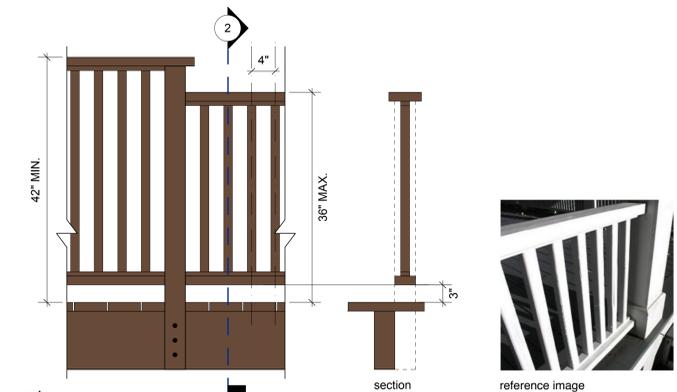
VIEW FROM BOTTOM BASIN



**1** MacVeagh Cottage

SCALE: 1/4"=1'-0"

ELEVATION



**note:**  
1. finish color to match existing legacy building "brown"

**2** MacVeagh Cottage

SCALE: 1"=1'-0"

ELEVATION

**Santa Barbara Museum of Natural History  
Schematic Design**

Santa Barbara, California

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**BACKYARD  
SECTIONS  
L1.3**



Principal	SVA
Project Manager	GG
Drawn By	GG/LF
Reviewed By	
Job No.	10-16

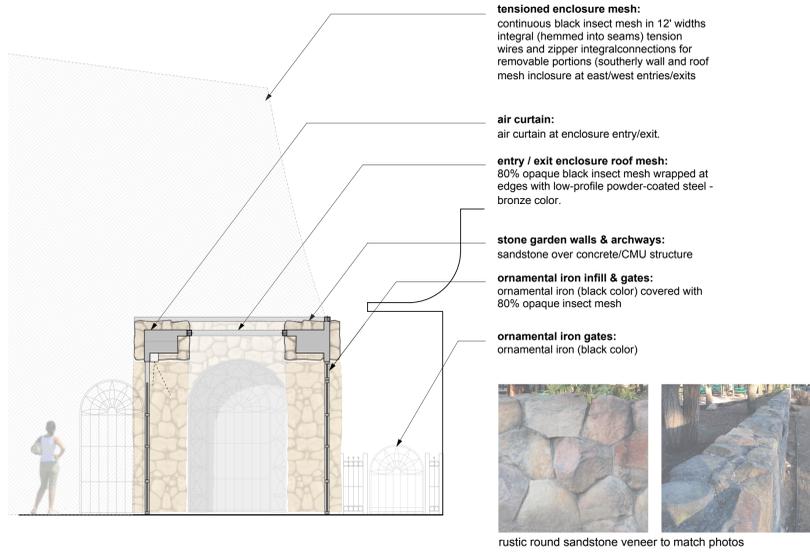
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Progress Set

**BUTTERFLY GARDEN**  
**L2.0**



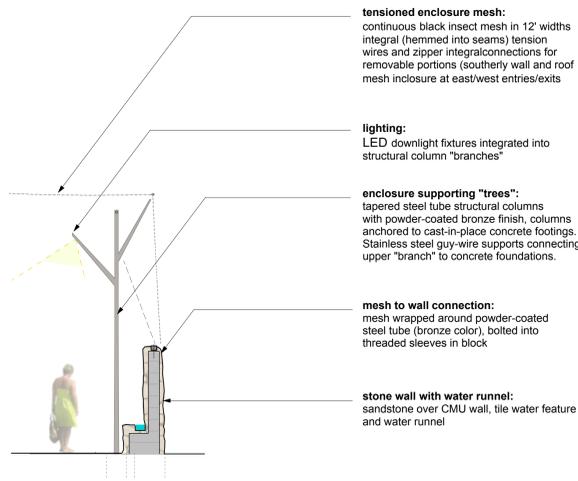
- tensioned enclosure mesh:** continuous black insect mesh in 12' widths integral (hemmed into seams) tension wires and zipper integral connections for removable portions (southerly wall and roof mesh inclosure at east/west entries/exits)
- air curtain:** air curtain at enclosure entry/exit.
- entry / exit enclosure roof mesh:** 80% opaque black insect mesh wrapped at edges with low-profile powder-coated steel - bronze color.
- stone garden walls & archways:** sandstone over concrete/CMU structure
- ornamental iron infill & gates:** ornamental iron (black color) covered with 80% opaque insect mesh
- ornamental iron gates:** ornamental iron (black color)



rustic round sandstone veneer to match photos

8 butterfly garden - entry/exit enclosure technical section

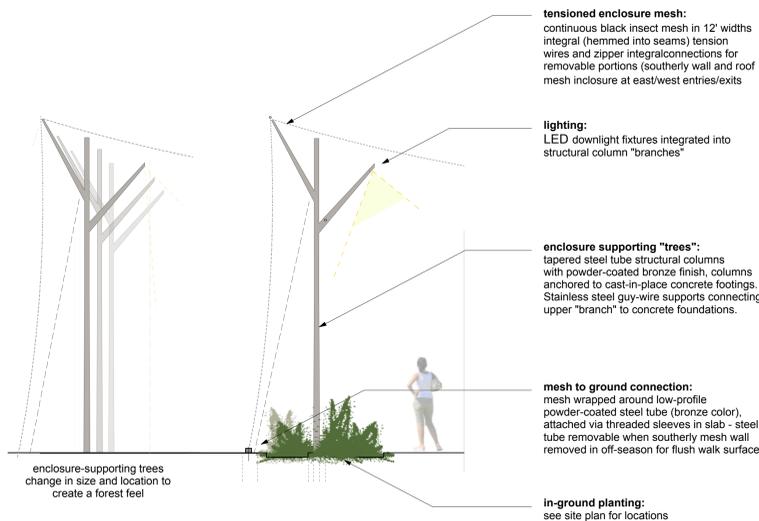
1/4" = 1'-0"  
section



- tensioned enclosure mesh:** continuous black insect mesh in 12' widths integral (hemmed into seams) tension wires and zipper integral connections for removable portions (southerly wall and roof mesh inclosure at east/west entries/exits)
- lighting:** LED downlight fixtures integrated into structural column "branches"
- enclosure supporting "trees":** tapered steel tube structural columns with powder-coated bronze finish, columns anchored to cast-in-place concrete footings. Stainless steel guy-wire supports connecting upper "branch" to concrete foundations.
- mesh to wall connection:** mesh wrapped around powder-coated steel tube (bronze color), bolted into threaded sleeves in block
- stone wall with water runnel:** sandstone over CMU wall, tie water feature and water runnel

7 butterfly garden - northerly edge enclosure technical section

1/4" = 1'-0"  
section



- tensioned enclosure mesh:** continuous black insect mesh in 12' widths integral (hemmed into seams) tension wires and zipper integral connections for removable portions (southerly wall and roof mesh inclosure at east/west entries/exits)
- lighting:** LED downlight fixtures integrated into structural column "branches"
- enclosure supporting "trees":** tapered steel tube structural columns with powder-coated bronze finish, columns anchored to cast-in-place concrete footings. Stainless steel guy-wire supports connecting upper "branch" to concrete foundations.
- mesh to ground connection:** mesh wrapped around low-profile powder-coated steel tube (bronze color), attached via threaded sleeves in slab - steel tube removable when southerly mesh wall removed in off-season for flush walk surface
- in-ground planting:** see site plan for locations

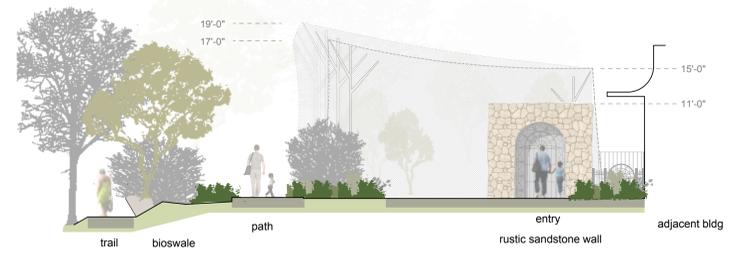
6 butterfly garden - southerly edge enclosure technical section

1/4" = 1'-0"  
section



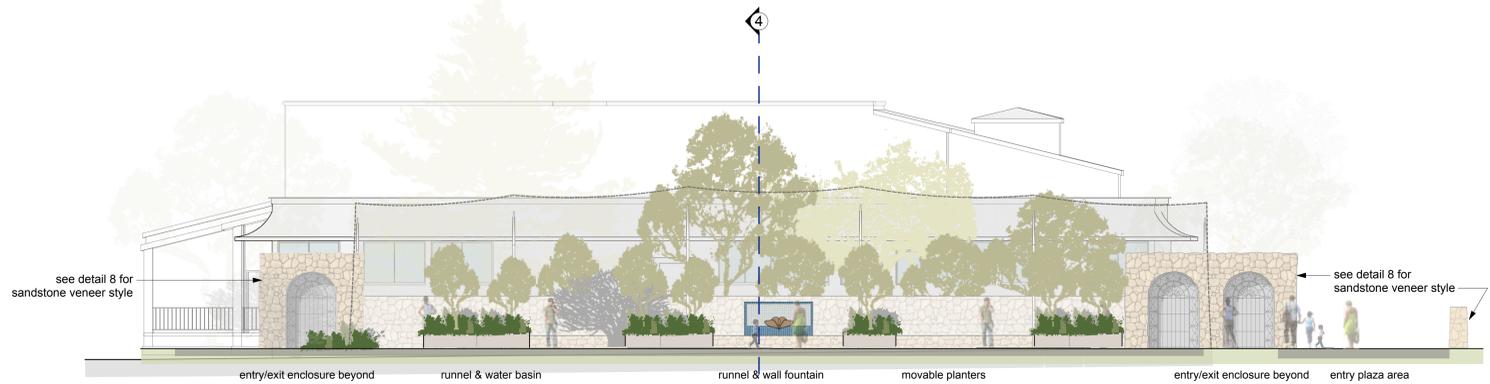
4 butterfly garden - north-south section

1/8" = 1'-0"  
section



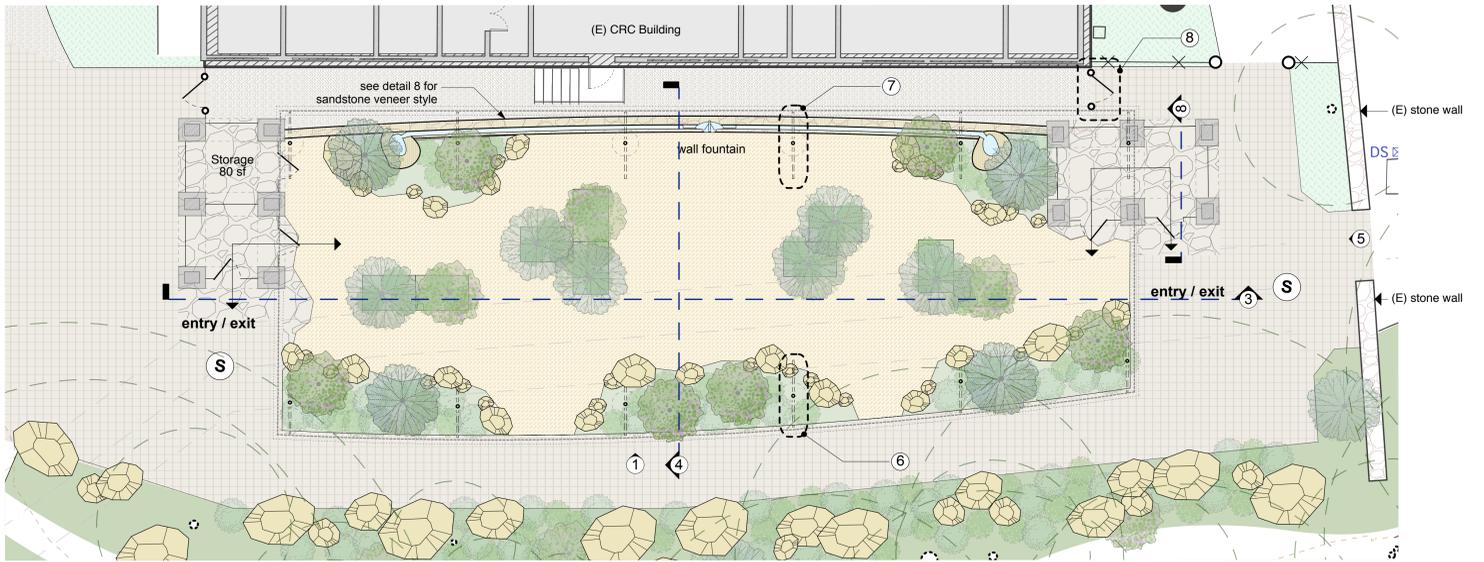
5 butterfly garden - east elevation

1/8" = 1'-0"  
section



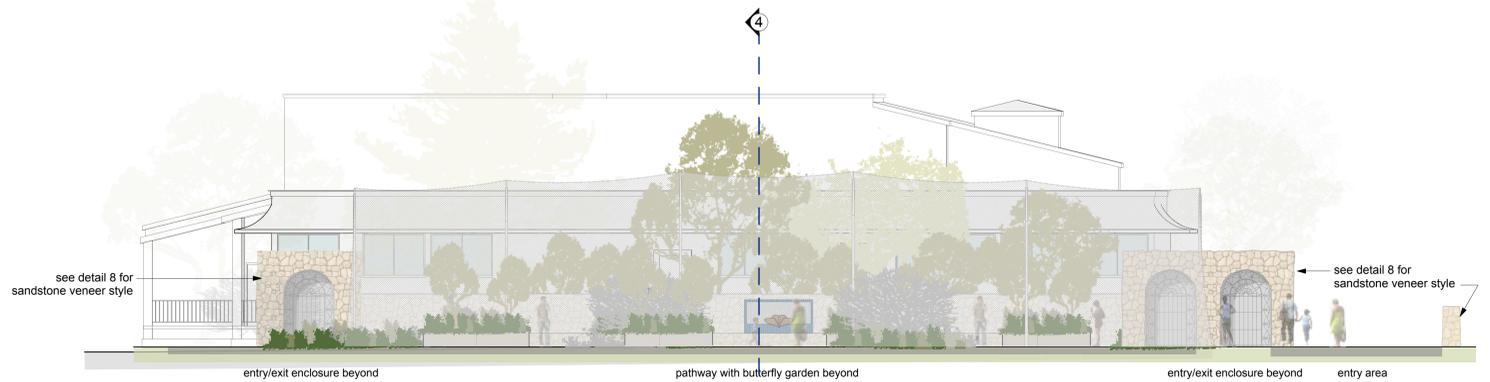
3 butterfly garden - east-west section

1/8" = 1'-0"  
section



2 butterfly garden - plan

1/8" = 1'-0"  
section



1 butterfly garden - south elevation

1/8" = 1'-0"  
section



NOTES:

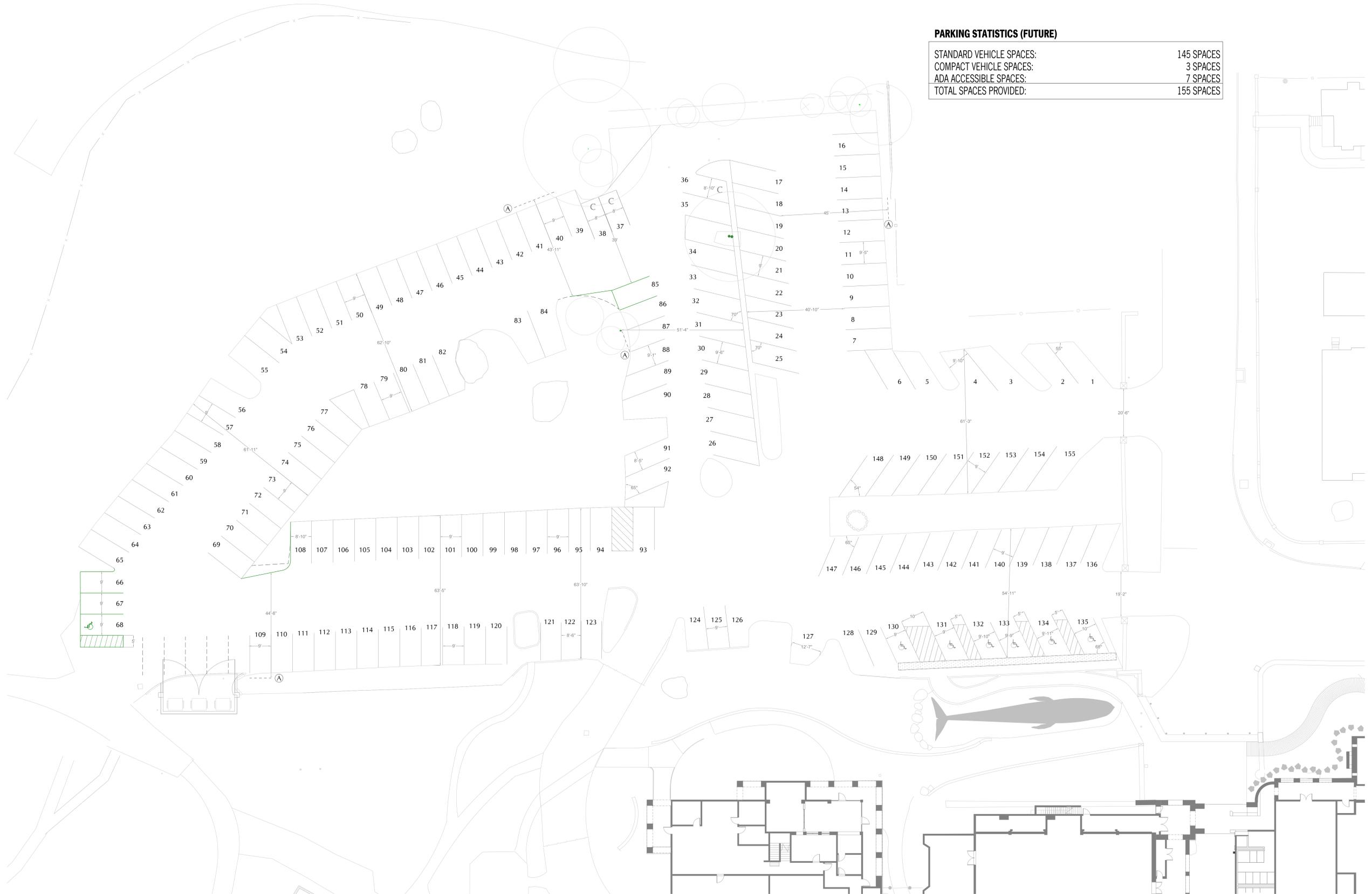
(A) - PARKING DIMENSION ASSUMES 2.25' VEHICLE OVERHANG  
REPLACEMENT PARKING SPACES ARE SHOWN IN GREEN (#66-68, # 85)

PARKING STATISTICS (EXISTING)

STANDARD VEHICLE SPACES:	147 SPACES
COMPACT VEHICLE SPACES:	3 SPACES
ADA ACCESSIBLE SPACES:	6 SPACES
TOTAL SPACES PROVIDED:	156 SPACES

PARKING STATISTICS (FUTURE)

STANDARD VEHICLE SPACES:	145 SPACES
COMPACT VEHICLE SPACES:	3 SPACES
ADA ACCESSIBLE SPACES:	7 SPACES
TOTAL SPACES PROVIDED:	155 SPACES



Principal	Approver
Project Manager	Designer
Drawn By	Author
Reviewed By	Checker
Job No.	0606

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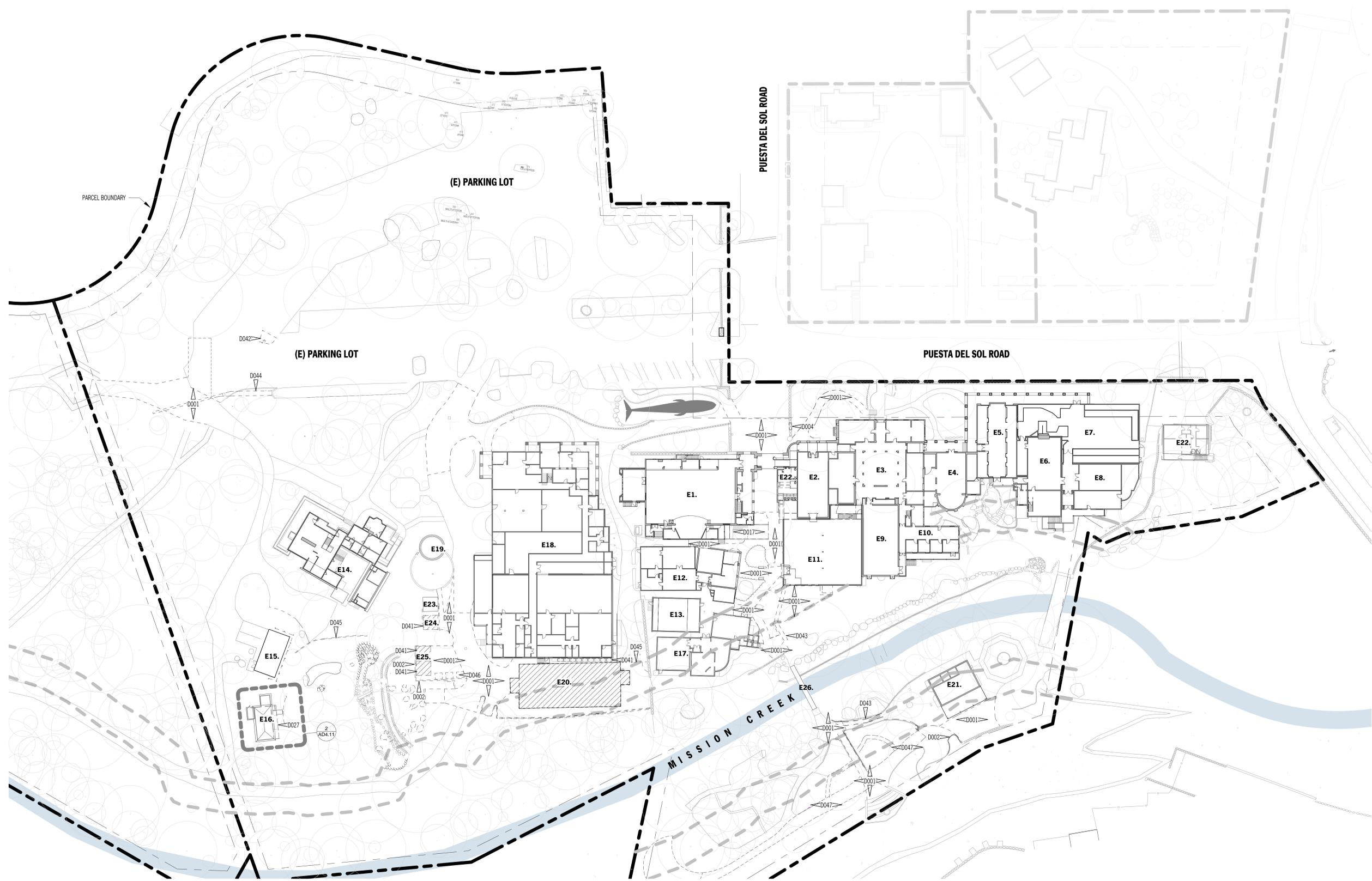
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Schematic Design  
Progress Set

Site Plan -  
Parking

AT1.11



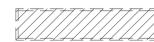
**1**  
AD1.11  
1/32" = 1'-0"

**KEYNOTES - DEMOLITION**

**GENERAL NOTE:** PRESERVE AND PROTECT TREES ADJACENT TO SCOPE OF WORK

D001	REMOVE (E) ASPHALT, EXISTING STONE PAVEMENT SYSTEM AND/OR CONC SIDEWALK AND CURB AND ALL ASSOC.	D027	DEMOLISH (E) DECK, STAIR & ALL ASSOCIATED
D002	REMOVE (E) WALL AND ALL ASSOC. TO EXTENTS SHOWN	D041	REMOVE (E) STORAGE SHED
D004	SAWCUT AND REMOVE (E) HAZARD ESTATE WALL TO EXTENTS SHOWN. PRESERVE AND PROTECT EXISTING STONES	D042	REMOVE (E) PLANTING ISLAND, BOULDERS AND LAMP POST
D017	EXCAVATE TO EXTENTS SHOWN FOR BASEMENT. SHORING AND COORDINATION W/ STRUCT DWGS REQUIRED PRIOR TO EXCAVATION	D043	EXCAVATION FOR UTILITY TRENCH. PROVIDE STUBOUT FOR FUTURE CONNECTION OF UTILITY ACROSS MISSION CREEK
		D044	REMOVE AND REROUTE UNDERGROUND PIPE
		D045	REMOVE (E) FENCE
		D046	RELOCATE (E) DUMPSTERS
		D047	REMOVE (E) PATH IN PREPARATION FOR NEW PERMEABLE ADA PATH

**DEMO PLAN LEGEND**

	STRUCTURES REMOVED
	STRUCTURES TO REMAIN

**STRUCTURES ID KEY**

<b>EXISTING RENOVATED STRUCTURES:</b> E2. GOULD EXHIBIT HALL E11. PALEONTOLOGY/GEOLOGY/MARINE HALL E22. RESTROOMS	<b>EXISTING STRUCTURES (NOT RENOVATED) CONT'D:</b> E15. RAPTOR MEWS E16. MACVEAGH COTTAGE E17. PLANETARIUM & LIVING PLANET E18. COLLECTIONS & RESEARCH CENTER E19. OBSERVATORY E21. BRODER E22. CARRIAGE HOUSE E23. STORAGE SHED E26. PEDESTRIAN BRIDGE
<b>STRUCTURES TO BE REPLACED:</b> E20. BUTTERFLY PAVILION	<b>EXISTING STRUCTURES TO BE REMOVED:</b> E23. STORAGE SHED E25. STORAGE SHEDS
<b>EXISTING STRUCTURES (NOT RENOVATED):</b> E1. FLEISCHMANN AUDITORIUM E3. ORIGINAL QUAD E4. CARTWRIGHT EXHIBIT HALL E5. MAMMAL EXHIBIT HALL E6. LIBRARY E7. DENNIS POWER BIRD HALL E8. MAXIMUS ART GALLERY E9. LURIA HALL E10. ADMINISTRATION E12. EDUCATION CENTER E13. FARRAND HALL E14. MACVEAGH HOUSE	

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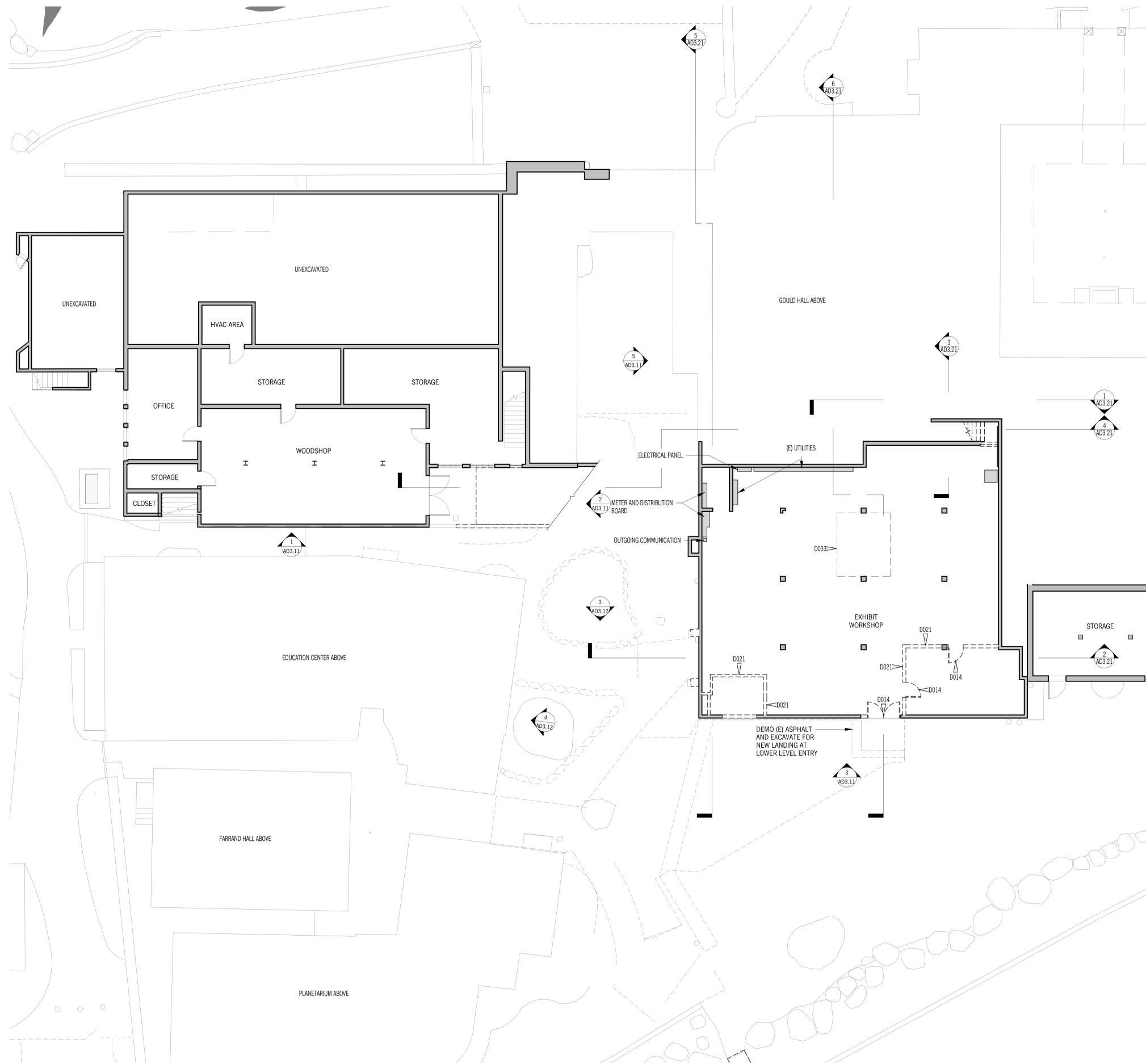
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Schematic Design  
Progress Set

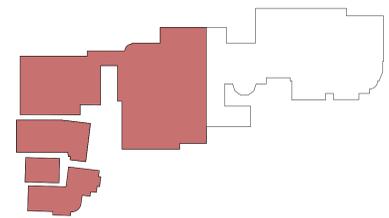
Demolition Site  
Plan

**AD1.11**



**KEYNOTES - DEMOLITION**

- D014 REMOVE (E) DOOR AND FRAME
- D021 REMOVE (E) WALL & ALL ASSOC. TO EXTENTS SHOWN
- D033 REMOVE (E) MECHANICAL EQUIPMENT



**KEY PLAN**  
1" = 80'-0"

**DEMO FLOOR PLAN LEGEND**

- (E) WALL OR STRUCTURE TO REMAIN
- (E) WALL TO BE REMOVED
- (E) AREA TO BE DEMOLISHED
- (E) WINDOW/DOOR TO BE REMOVED INCLUDING HARDWARE, THRESHOLD, CASING & TRIM COMPLETE
- DEMO KEYNOTE

**GENERAL NOTES**

REFER TO CIVIL & LANDSCAPE DRAWINGS FOR ALL SITE IMPROVEMENT SCOPE



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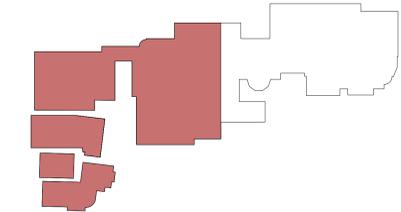
Schematic Design  
Progress Set

Demolition Floor  
Plan - Lower Level  
Central  
**AD2.21**



**KEYNOTES - DEMOLITION**

- D014 REMOVE (E) DOOR AND FRAME
- D018 DEMOLISH (E) ROOF & COLUMNS OF COVERED WALKWAY TO EXTENTS SHOWN. CAREFULLY REMOVE & STORE WOOD JOISTS FOR REUSE.
- D021 REMOVE (E) WALL & ALL ASSOC. TO EXTENTS SHOWN
- D029 REMOVE (E) FLOOR AND FLOOR STRUCTURE IN ITS ENTIRETY
- D048 REMOVE (E) PARTITIONS, COUNTERS, AND PLUMBING FIXTURES TO THE EXTENT SHOWN
- D049 REMOVE (E) EXHIBIT CASEWORK



**KEY PLAN**  
1" = 80'-0"

**DEMO FLOOR PLAN LEGEND**

- (E) WALL OR STRUCTURE TO REMAIN
- (E) WALL TO BE REMOVED
- (E) AREA TO BE DEMOLISHED
- (E) WINDOW/DOOR TO BE REMOVED INCLUDING HARDWARE, THRESHOLD, CASING & TRIM COMPLETE
- DEMO KEYNOTE

**GENERAL NOTES**

REFER TO CIVIL & LANDSCAPE DRAWINGS FOR ALL SITE IMPROVEMENT SCOPE

1  
AD2.22  
1/8" = 1'-0"  
**DEMOLITION FLOOR PLAN - MAIN LEVEL CENTRAL**



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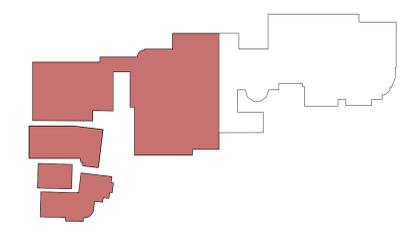
Schematic Design  
Progress Set

Demolition Floor  
Plan - Main Level  
Central  
**AD2.22**



**KEYNOTES - DEMOLITION**

- D018 DEMOLISH (E) ROOF & COLUMNS OF COVERED WALKWAY TO EXTENTS SHOWN. CAREFULLY REMOVE & STORE WOOD JOISTS FOR REUSE.
- D033 REMOVE (E) MECHANICAL EQUIPMENT
- D035 REMOVE (E) STAIR TOWER AND ALL ASSOCIATED TO EXTENTS SHOWN



**KEY PLAN**  
1" = 80'-0"

**DEMO FLOOR PLAN LEGEND**

- (E) WALL OR STRUCTURE TO REMAIN
- (E) WALL TO BE REMOVED
- (E) AREA TO BE DEMOLISHED
- (E) WINDOW/DOOR TO BE REMOVED INCLUDING HARDWARE, THRESHOLD, CASING & TRIM COMPLETE
- DEMO KEYNOTE

**GENERAL NOTES**

REFER TO CIVIL & LANDSCAPE DRAWINGS FOR ALL SITE IMPROVEMENT SCOPE

**1** DEMOLITION ROOF PLAN - CENTRAL  
AD2.23 1/8" = 1'-0"

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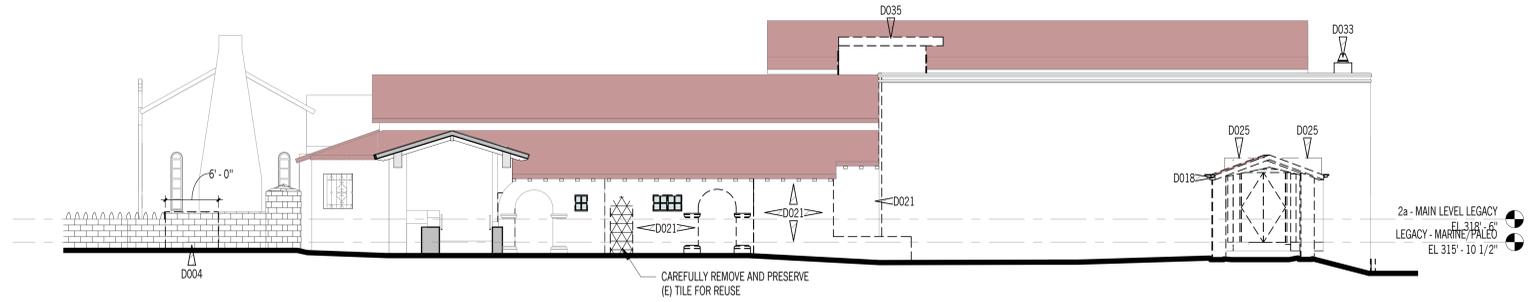
**NOT FOR CONSTRUCTION**

12 March 2014  
Schematic Design  
Progress Set

Demolition Roof  
Plan - Central  
**AD2.23**

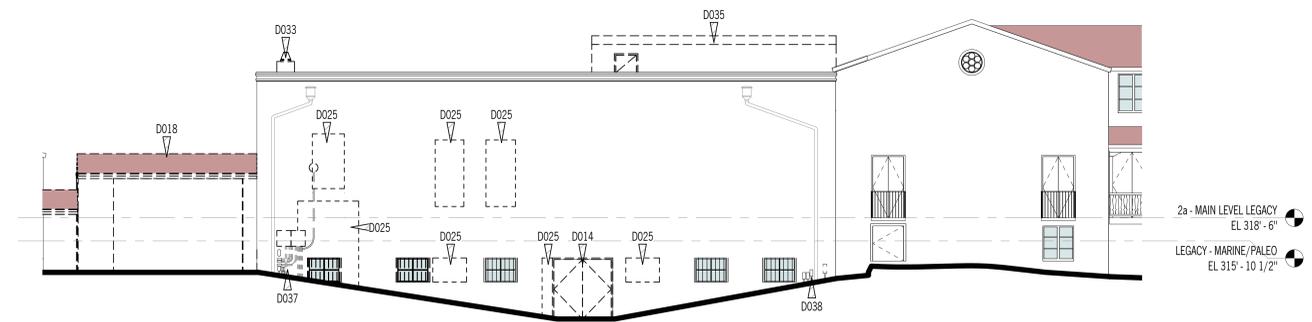
KEYNOTES - DEMOLITION

- D004 SAWCUT AND REMOVE (E) HAZARD ESTATE WALL TO EXTENTS SHOWN. PRESERVE AND PROTECT EXISTING STONES
- D014 REMOVE (E) DOOR AND FRAME
- D018 DEMOLISH (E) ROOF & COLUMNS OF COVERED WALKWAY TO EXTENTS SHOWN. CAREFULLY REMOVE & STORE WOOD JOISTS FOR REUSE.
- D021 REMOVE (E) WALL & ALL ASSOC. TO EXTENTS SHOWN
- D024 REMOVE (E) RAMP & ALL ASSOC.
- D025 REMOVE (E) WALL TO EXTENTS SHOWN FOR DOOR OR OPENING
- D033 REMOVE (E) MECHANICAL EQUIPMENT
- D035 REMOVE (E) STAIR TOWER AND ALL ASSOCIATED TO EXTENTS SHOWN
- D037 REMOVE (E) ELECTRICAL BOX AND ALL ASSOCIATED
- D038 REMOVE (E) UTILITIES
- D050 REMOVE (E) RAILING



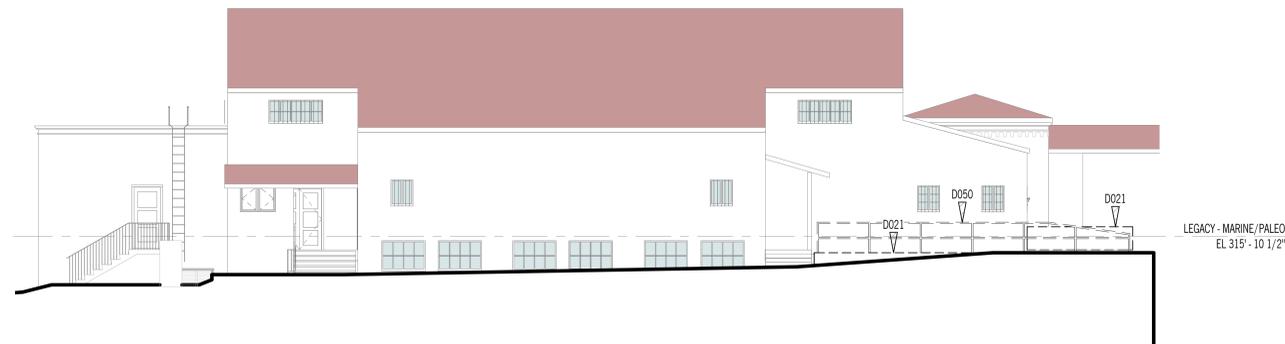
5  
AD3.11 1/8" = 1'-0"

DEMOLITION ELEVATION WEST - RESTROOM, MARINE PALEO



3  
AD3.11 1/8" = 1'-0"

DEMOLITION ELEVATION SOUTH - MARINE PALEO



1  
AD3.11 1/8" = 1'-0"

DEMOLITION ELEVATION SOUTH - FLEISCHMANN



2  
AD3.11 1/8" = 1'-0"

DEMOLITION ELEVATION EAST - FLEISCHMANN



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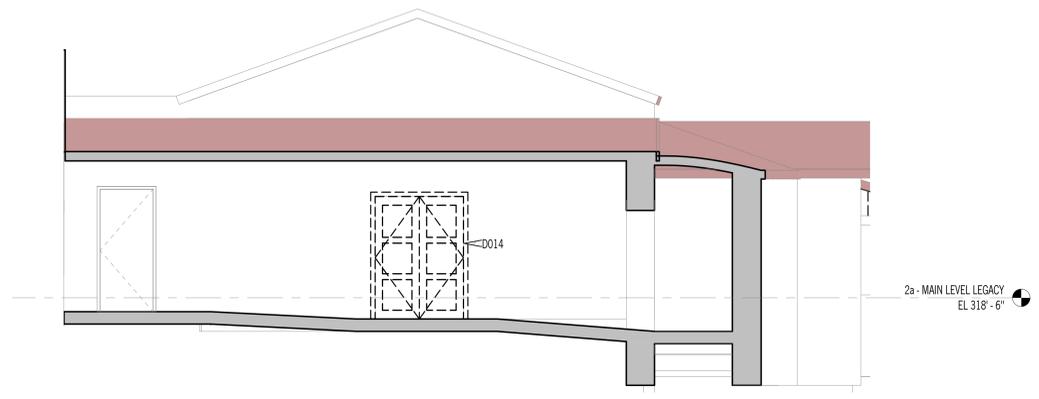
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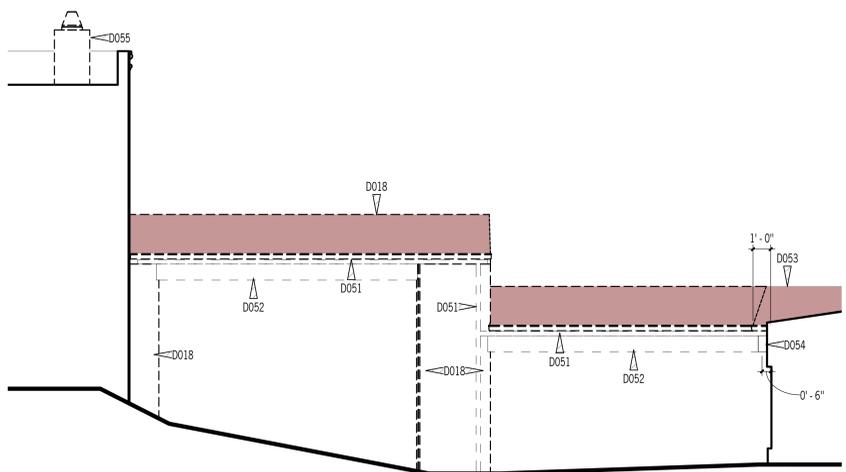
Schematic Design  
Progress Set

Demolition  
Elevations

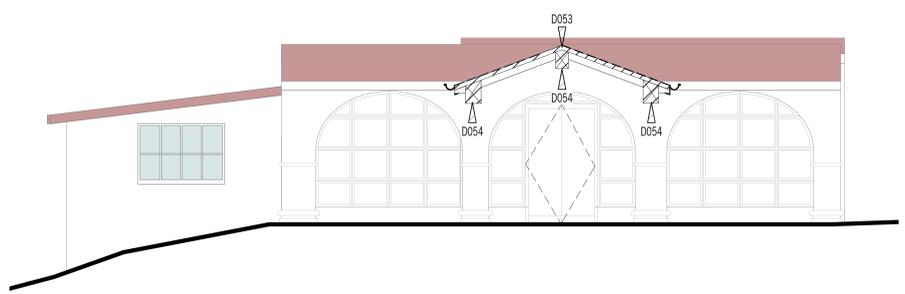
AD3.11



1 GOULD ENTRY DOOR  
AD3.12 1/4" = 1'-0"



3 WALKWAY ROOF COVER - DEMOLITION ELEVATION NORTH  
AD3.12 1/4" = 1'-0"



4 EDUCATION - DEMOLITION ELEVATION EAST  
AD3.12 1/4" = 1'-0"

KEYNOTES - DEMOLITION

- D014 REMOVE (E) DOOR AND FRAME
- D018 DEMOLISH (E) ROOF & COLUMNS OF COVERED WALKWAY TO EXTENTS SHOWN. CAREFULLY REMOVE & STORE WOOD JOISTS FOR REUSE.
- D051 REMOVE (E) GUTTER AND RAIN LEADER
- D052 CAREFULLY REMOVE AND PRESERVE TIMBER BEAMS FOR REUSE
- D053 (E) ROOF TO REMAIN, CUT 1' - 0" FROM FACE OF WALL
- D054 (E) TIMBER BEAM TO REMAIN, CUT 0' - 6" FROM FACE OF WALL
- D055 REMOVE (E) VENT STACK

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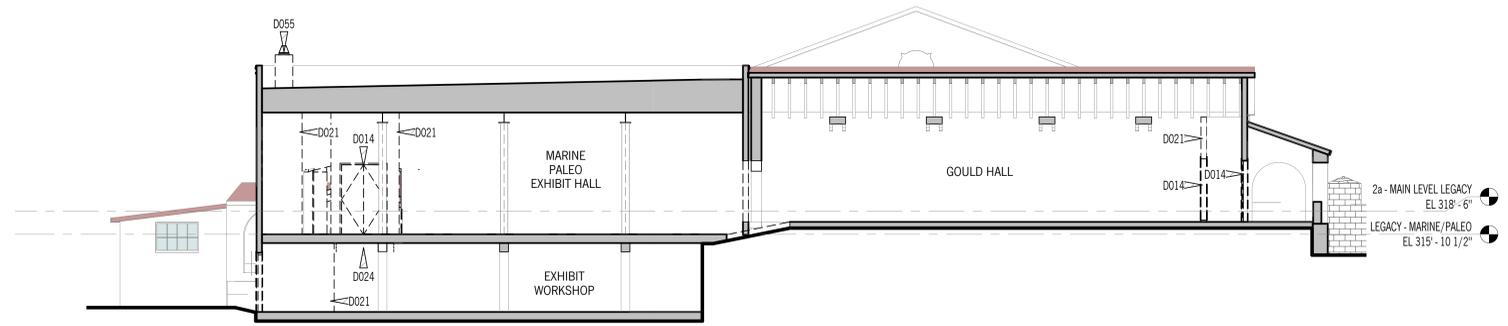
Schematic Design  
Progress Set

Demolition  
Elevations

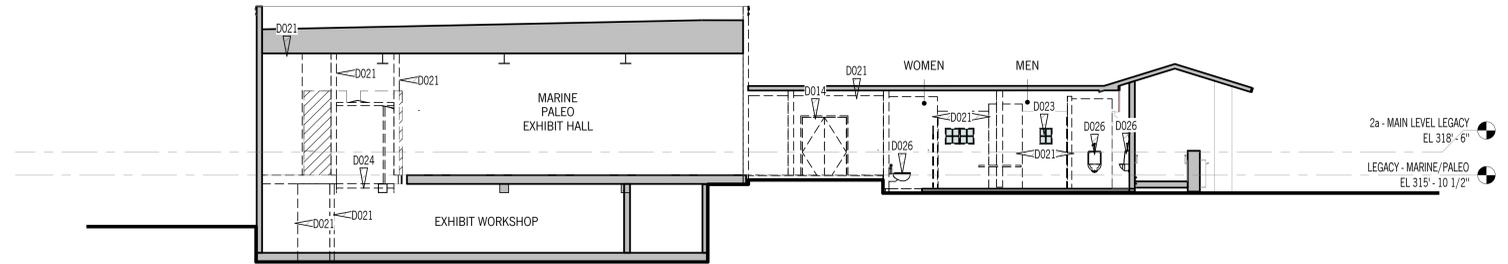
AD3.12

KEYNOTES - DEMOLITION

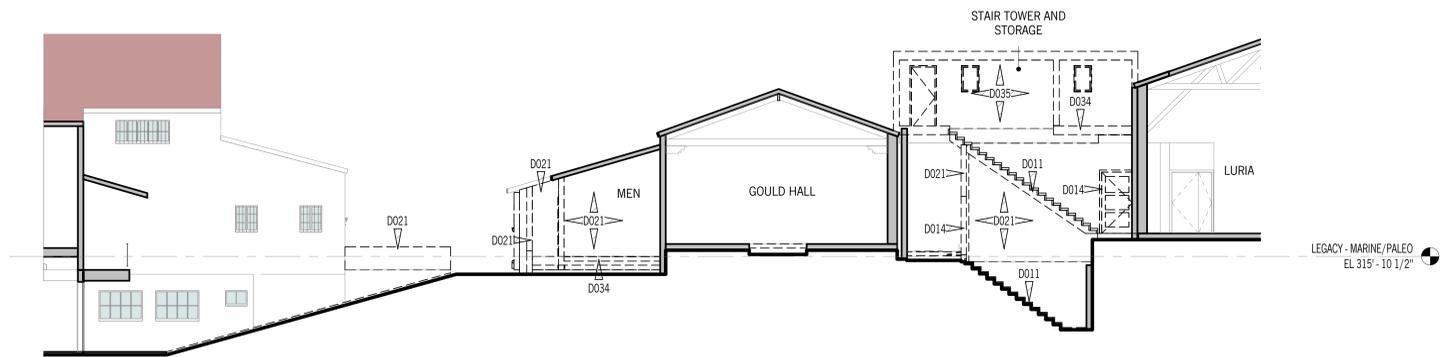
- D011 REMOVE (E) STAIR & ALL ASSOCIATED
- D014 REMOVE (E) DOOR AND FRAME
- D018 DEMOLISH (E) ROOF & COLUMNS OF COVERED WALKWAY TO EXTENTS SHOWN. CAREFULLY REMOVE & STORE WOOD JOISTS FOR REUSE.
- D021 REMOVE (E) WALL & ALL ASSOC. TO EXTENTS SHOWN
- D023 REMOVE (E) WINDOW
- D024 REMOVE (E) RAMP & ALL ASSOC.
- D026 DEMOLISH (E) PLUMBING AND FIXTURES
- D033 REMOVE (E) MECHANICAL EQUIPMENT
- D034 REMOVE (E) FLOOR TO EXTENTS SHOWN
- D035 REMOVE (E) STAIR TOWER AND ALL ASSOCIATED TO EXTENTS SHOWN
- D055 REMOVE (E) VENT STACK



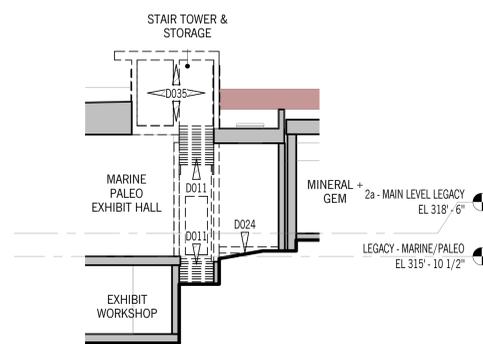
6 DEMO SECTION THROUGH RAMP @ GOULD  
1/8" = 1'-0"



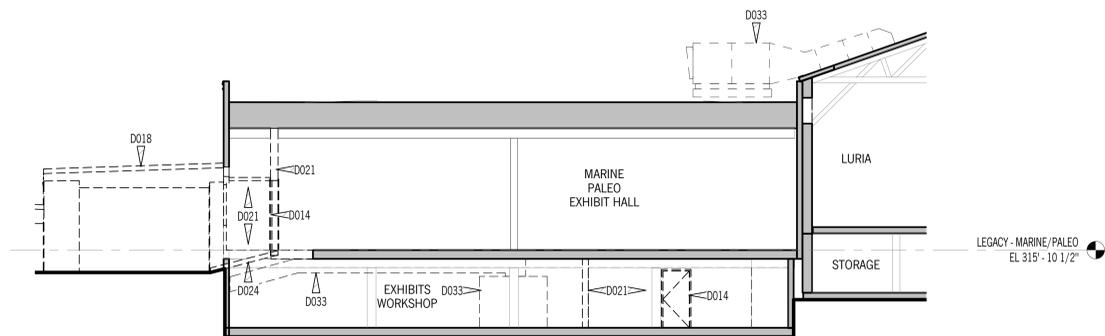
5 DEMO SECTION THROUGH RESTROOMS  
1/8" = 1'-0"



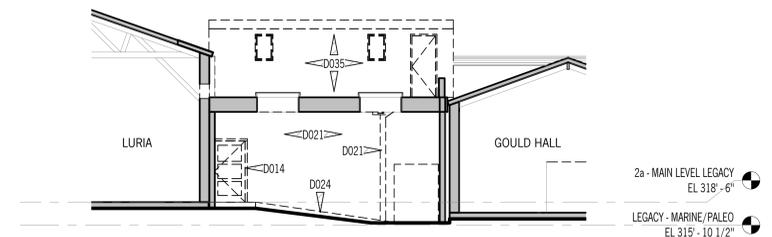
4 MARINE PALEO STAIR DEMO  
1/8" = 1'-0"



3 DEMO SECTION THROUGH STAIR  
1/8" = 1'-0"



2 MARINE PALEO RAMP TO EXTERIOR  
1/8" = 1'-0"



1 MARINE PALEO RAMP DEMO  
1/8" = 1'-0"



Principal	Approver	
Project Manager	Designer	
Drawn By	Author	
Reviewed By	Checker	
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Revisions:		
No.	Date	By

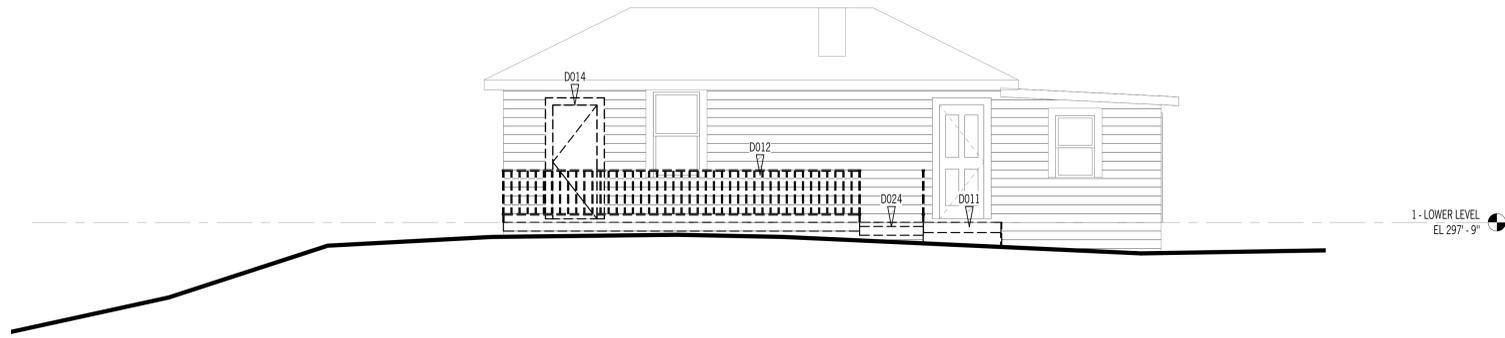
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CONSTRUCTION**

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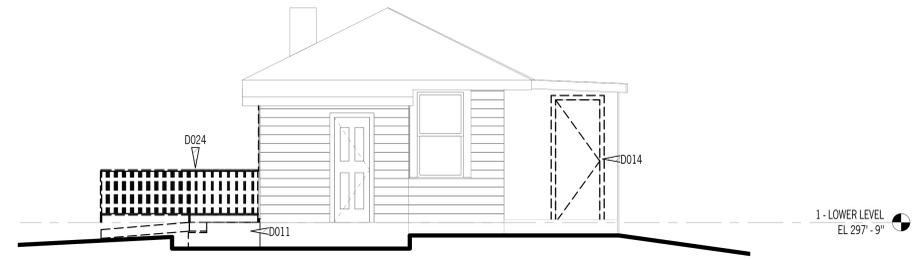
Schematic Design  
Progress Set

Demolition  
Sections

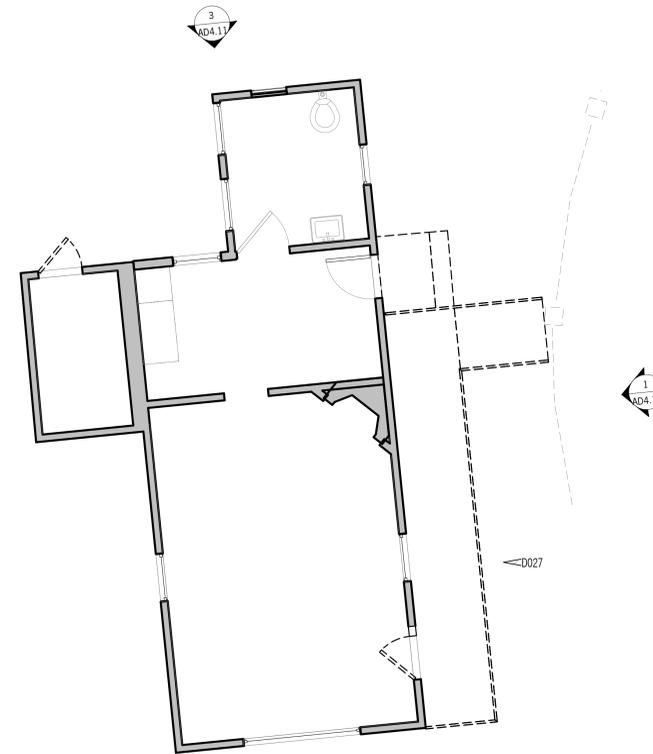
**AD3.21**



1  
AD4.11  
1/4" = 1'-0"  
DEMOLITION ELEVATION - MACVEAGH COTTAGE EAST



3  
AD4.11  
1/4" = 1'-0"  
DEMOLITION ELEVATION - MACVEAGH COTTAGE NORTH



NOTE: NO INTERIOR DEMOLITION PROPOSED

2  
AD4.11  
1/4" = 1'-0"  
DEMOLITION - MAIN LEVEL PLAN - WEST - MACVEAGH COTTAGE

**KEYNOTES - DEMOLITION**

- D011 REMOVE (E) STAIR & ALL ASSOCIATED
- D012 REMOVE (E) PORCH, STRUCTURE & ALL ASSOCIATED.
- D014 REMOVE (E) DOOR AND FRAME
- D024 REMOVE (E) RAMP & ALL ASSOC.
- D027 DEMOLISH (E) DECK, STAIR & ALL ASSOCIATED

**DEMO FLOOR PLAN LEGEND**

- ▬ (E) WALL OR STRUCTURE TO REMAIN
- - - (E) WALL TO BE REMOVED
- ▨ (E) AREA TO BE DEMOLISHED
- / — (E) WINDOW/DOOR TO BE REMOVED INCLUDING HARDWARE, THRESHOLD, CASING & TRIM COMPLETE
- ◁ # DEMO KEYNOTE

**GENERAL NOTES**

REFER TO CIVIL & LANDSCAPE DRAWINGS FOR ALL SITE IMPROVEMENT SCOPE

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Project Manager	Designer
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Reviewed By	Checker
Job No.	0606

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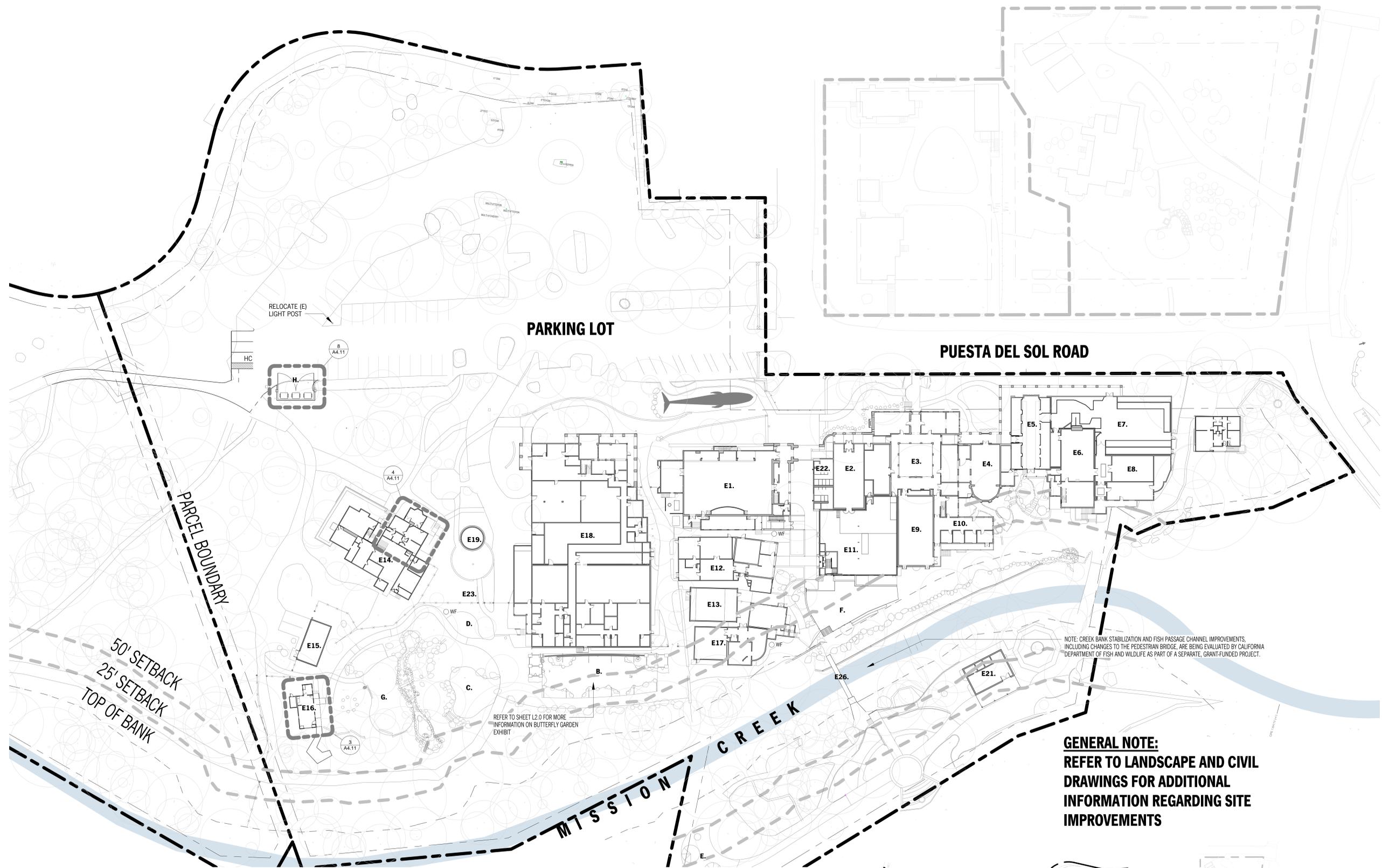
**NOT FOR  
CONSTRUCTION**

12 March 2014

Schematic Design  
Progress Set

Demolition Floor  
Plans & Elevations

**AD4.11**



1  
A1.11  
SITE PLAN  
1/32" = 1'-0"

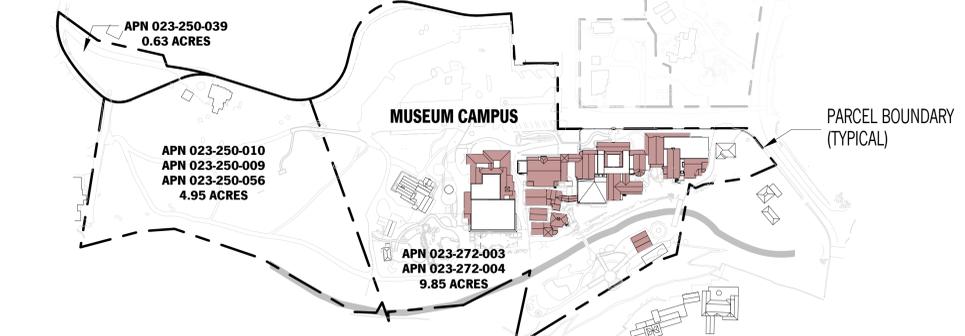


**SITE PLAN LEGEND**

- PARCEL BOUNDARY
- PARCEL SETBACK
- CREEK SETBACK
- TOP OF BANK
- WATER FOUNTAIN

**BUILDING/SITE KEY**

- PROPOSED REPLACEMENT STRUCTURES:**
  - B. BUTTERFLY GARDEN EXHIBIT
- EXISTING STRUCTURES REHABILITATED OR RENOVATED:**
  - E2. GOULD EXHIBIT HALL
  - E11. MARINE PALEO EXHIBIT HALL
  - E22. RESTROOMS
- PRIMARY SITE FEATURES:**
  - C. FORT BUILDING AREA
  - D. PALEO DIG AREA
  - E. CHUMASH VILLAGE
  - F. CREEKSIDE TERRACE
  - G. BACKYARD
  - H. TRASH ENCLOSURE
- EXISTING STRUCTURES TO REMAIN:**
  - E1. FLEISCHMANN AUDITORIUM
  - E3. ENTRY COURTYARD
  - E4. CARTWRIGHT EXHIBIT HALL
  - E5. MAMMAL EXHIBIT HALL
  - E6. LIBRARY
  - E7. BIRD HALL
  - E8. MAXIMUS GALLERY
  - E9. LURIA HALL
  - E10. ADMINISTRATION
  - E12. EDUCATION CENTER
  - E13. FARRAND HALL
  - E14. MACVEAGH HOUSE
  - E15. RAPTOR MEWS
- EXISTING STRUCTURES TO REMAIN:**
  - E16. MACVEAGH COTTAGE
  - E17. PLANETARIUM & LIVING PLANET
  - E18. COLLECTIONS & RESEARCH CENTER
  - E19. OBSERVATORY
  - E21. BRODER HALL
  - E22. CARRIAGE HOUSE
  - E23. STORAGE SHED
  - E26. PEDESTRIAN BRIDGE



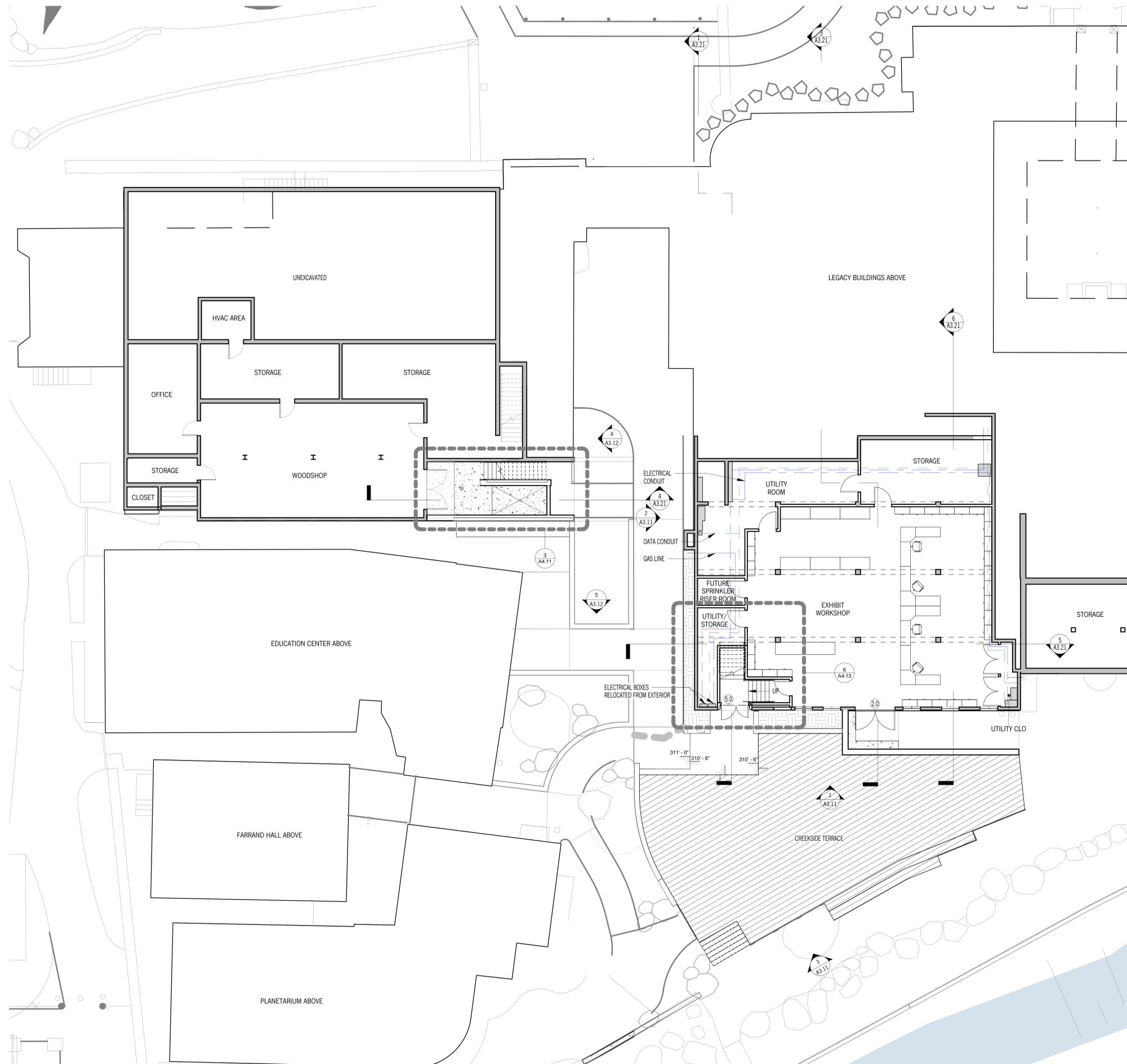
2  
A1.11  
PARCEL KEY PLAN  
1" = 160'-0"

Principal	WS	
Project Manager	CC	
Drawn By	SM	
Reviewed By		
Job No.	0606	
Revisions:		
No.	Date	By

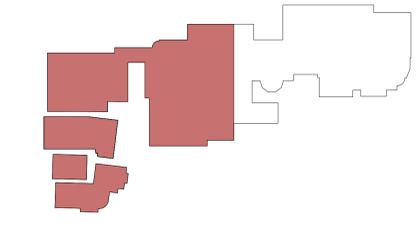
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Schematic Design  
Progress Set

Site Plan  
**A1.11**



1  
A2.21  
1/8" = 1'-0" N



KEY PLAN  
1" = 80'-0"

- FLOOR PLAN LEGEND**
- (E) WALL OR STRUCTURE TO REMAIN
  - WALL
  - (E) WINDOW/DOOR TO BE REMAIN
  - WINDOW/DOOR
  - CONCRETE
  - WOOD DECK (FIRE RESISTANCE RATED)

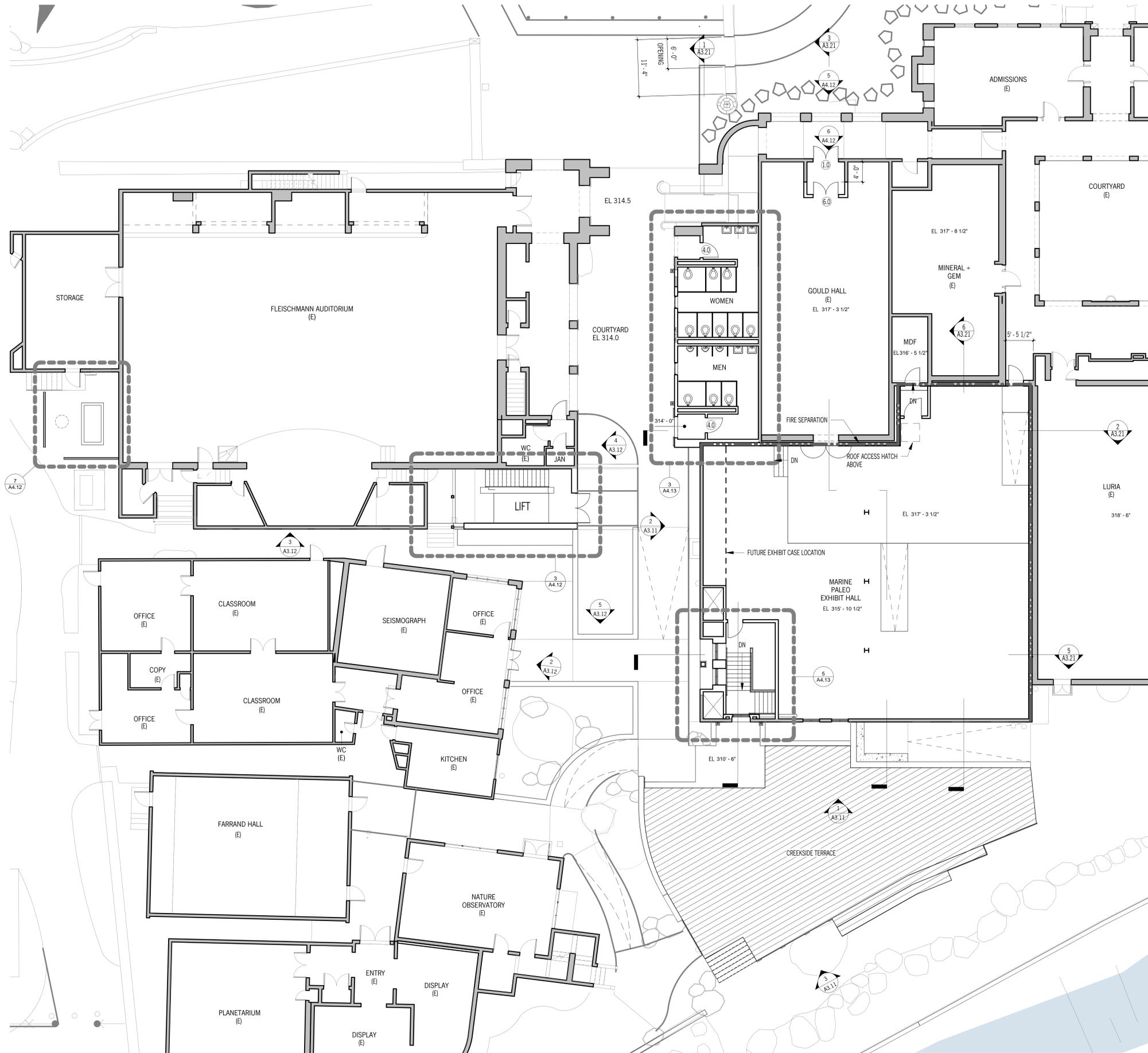
**GENERAL NOTES**  
REFER TO CIVIL & LANDSCAPE DRAWINGS FOR ALL SITE  
IMPROVEMENT SCOPE

Principal	Approver
Project Manager	Designer
Drawn By	Author
Reviewed By	Checker
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No.	Date
	By

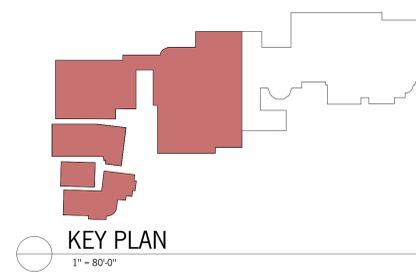
**NOT FOR CONSTRUCTION**

12 March 2014  
Schematic Design  
Progress Set

Floor Plan - Lower  
Level Central  
**A2.21**



1  
A2.22  
MAIN LEVEL PLAN - CENTRAL  
1/8" = 1'-0"



KEY PLAN  
1" = 80'-0"

FLOOR PLAN LEGEND

- (E) WALL OR STRUCTURE TO REMAIN
- WALL
- (E) WINDOW/DOOR TO BE REMAIN
- WINDOW/DOOR
- CONCRETE
- WOOD DECK (FIRE RESISTANCE RATED)

GENERAL NOTES

REFER TO CIVIL & LANDSCAPE DRAWINGS FOR ALL SITE IMPROVEMENT SCOPE



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Project Manager	Designer
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Reviewed By	Checker
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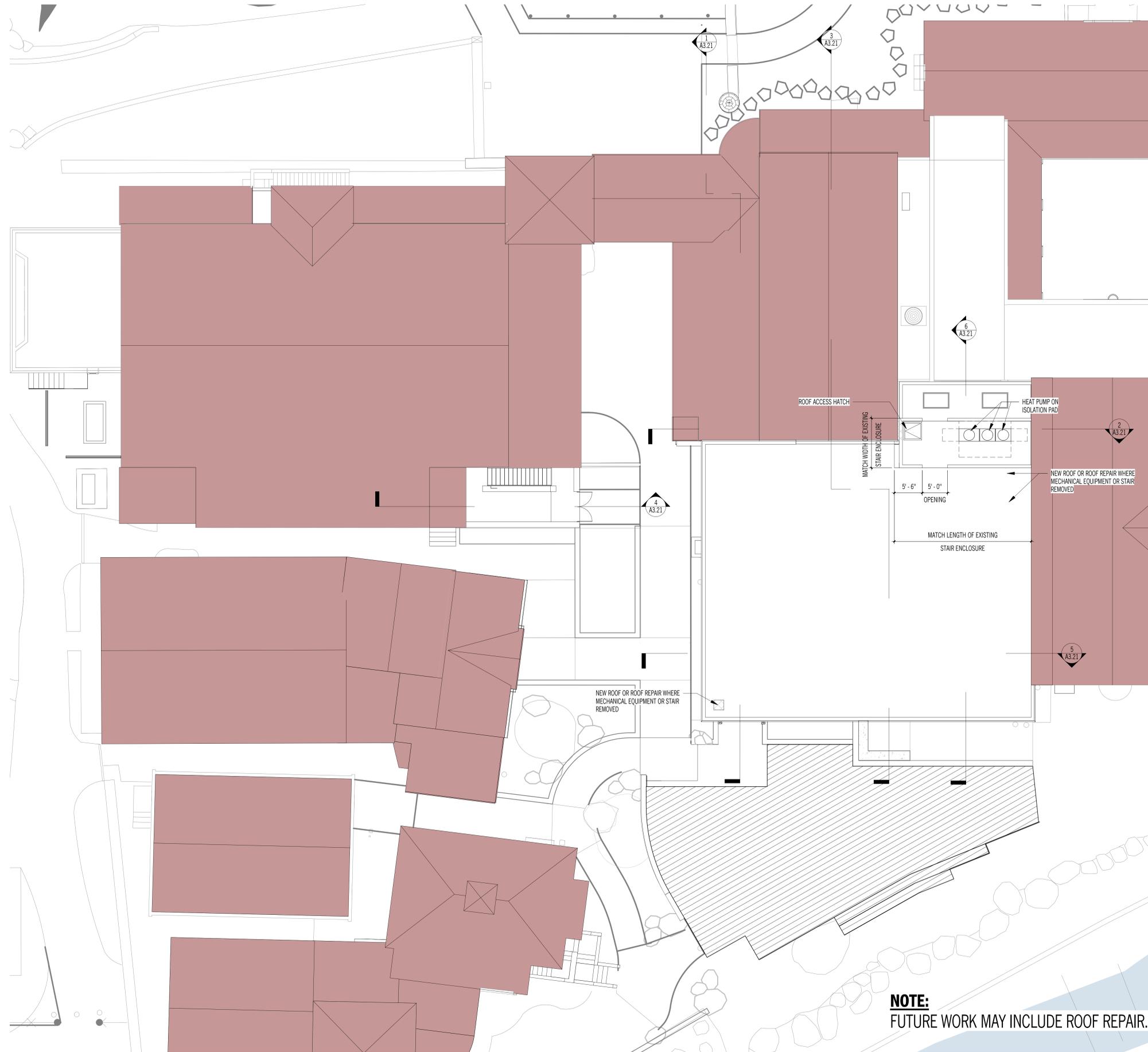
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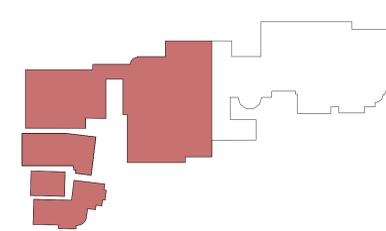
Schematic Design  
Progress Set

Floor Plan - Main  
Level Central

A2.22



**NOTE:**  
FUTURE WORK MAY INCLUDE ROOF REPAIR.



**KEY PLAN**  
1" = 80'-0"

**FLOOR PLAN LEGEND**

- (E) WALL OR STRUCTURE TO REMAIN
- WALL
- (E) WINDOW/DOOR TO BE REMAIN
- WINDOW/DOOR
- CONCRETE
- WOOD DECK (FIRE RESISTANCE RATED)

**GENERAL NOTES**

REFER TO CIVIL & LANDSCAPE DRAWINGS FOR ALL SITE IMPROVEMENT SCOPE

**1**  
A2.23  
1/8" = 1'-0"  
ROOF PLAN - CENTRAL

Principal	Approver
Project Manager	Designer
Drawn By	Author
Reviewed By	Checker
Job No.	0606

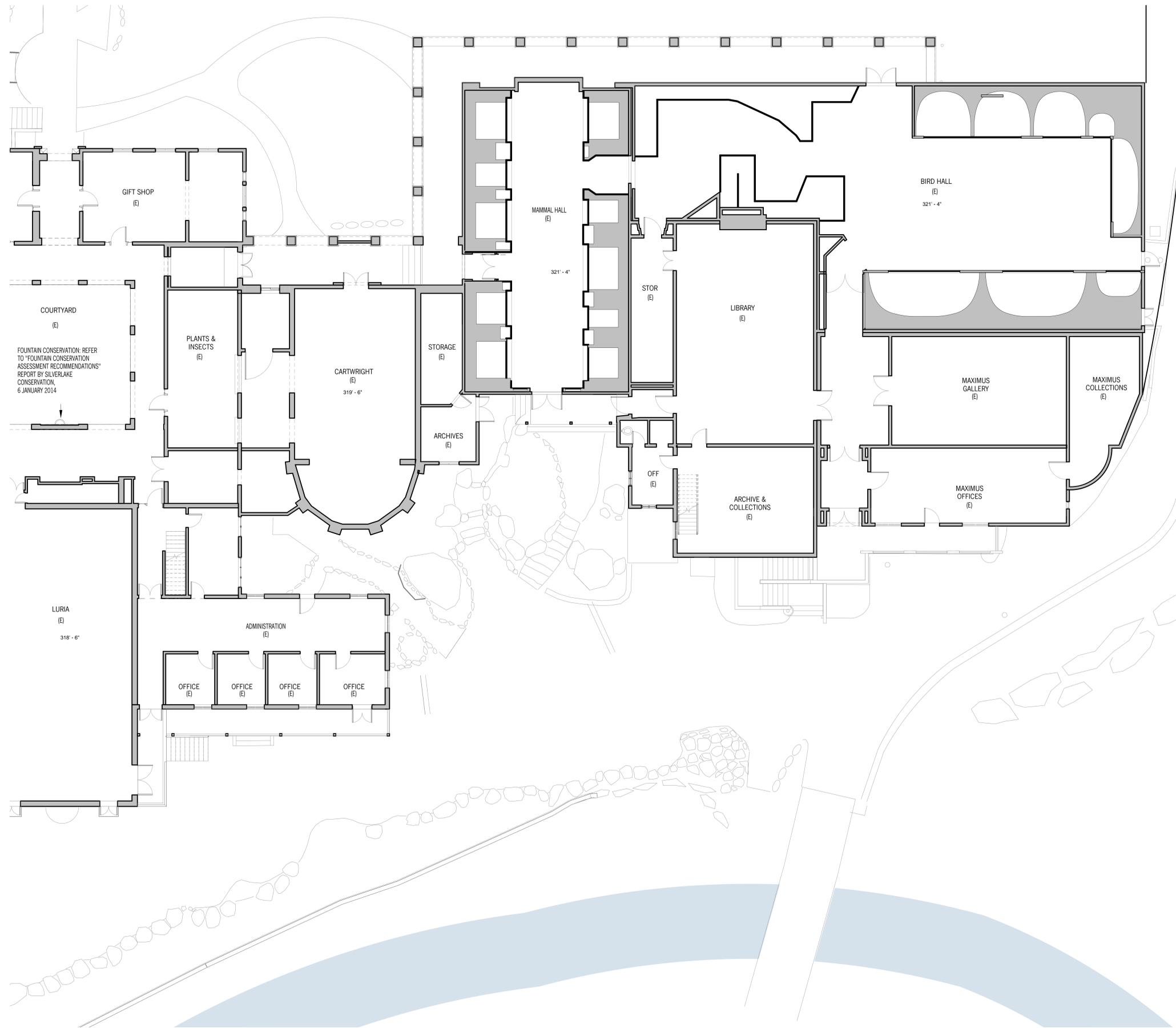
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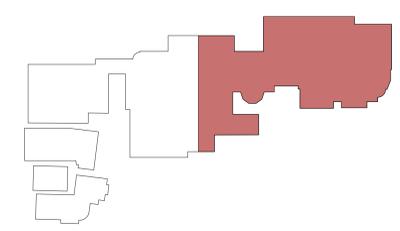
12 March 2014  
Schematic Design  
Progress Set

Roof Plan - Central

**A2.23**



1  
A2.31  
MAIN LEVEL PLAN - EAST  
1/8" = 1'-0"



KEY PLAN  
1" = 80'-0"

- FLOOR PLAN LEGEND**
- (E) WALL OR STRUCTURE TO REMAIN
  - WALL
  - / (E) WINDOW/DOOR TO BE REMAIN
  - / WINDOW/DOOR
  - CONCRETE
  - ▨ WOOD DECK (FIRE RESISTANCE RATED)

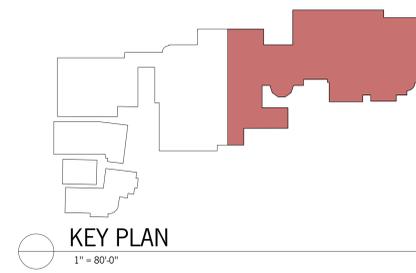
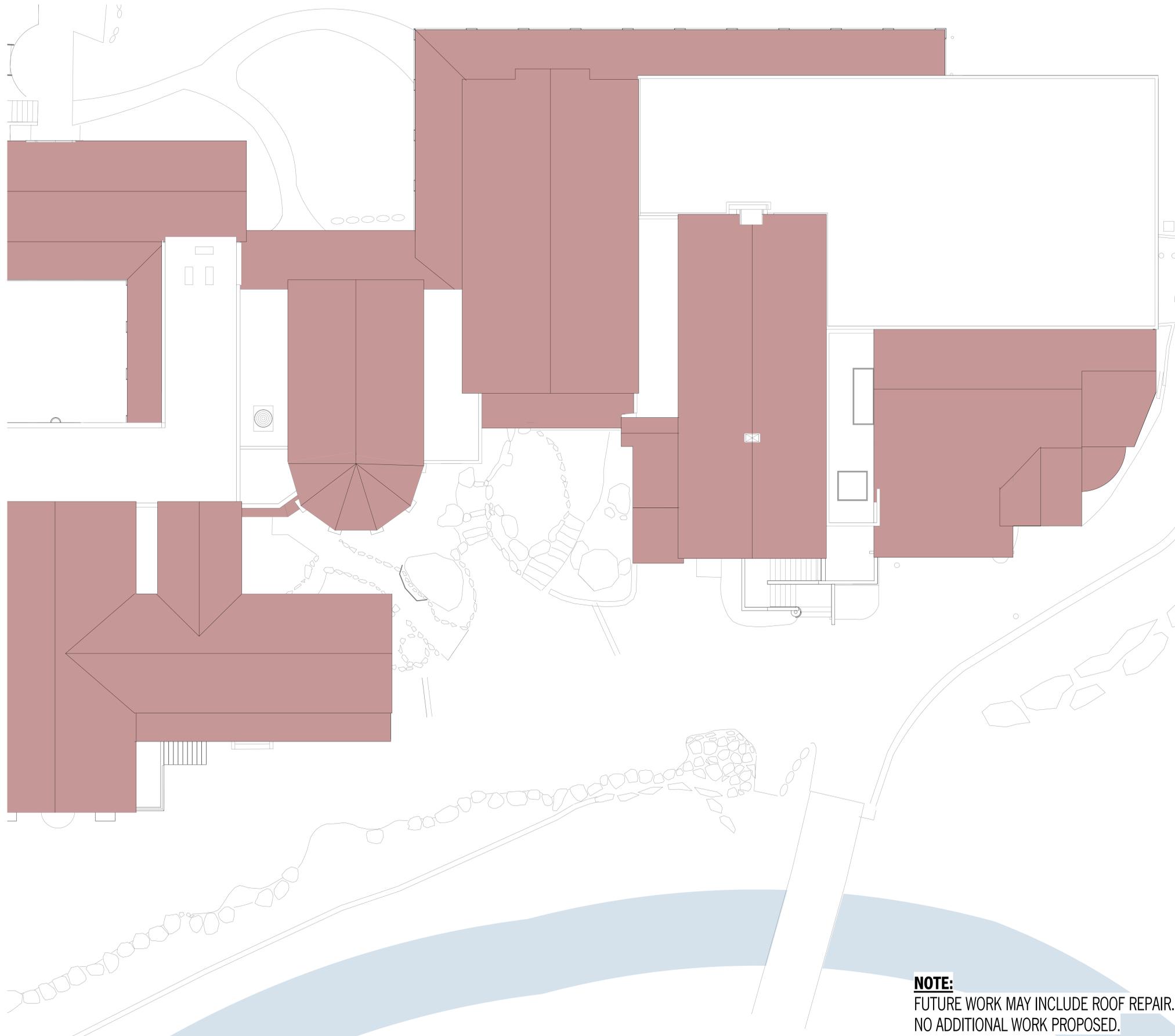
**GENERAL NOTES**  
REFER TO CIVIL & LANDSCAPE DRAWINGS FOR ALL SITE IMPROVEMENT SCOPE

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12 March 2014  
Schematic Design  
Progress Set

Floor Plan - Main  
Level East  
**A2.31**



KEY PLAN  
1" = 80'-0"

FLOOR PLAN LEGEND

- (E) WALL OR STRUCTURE TO REMAIN
- WALL
- (E) WINDOW/DOOR TO BE REMAIN
- WINDOW/DOOR
- CONCRETE
- WOOD DECK (FIRE RESISTANCE RATED)

GENERAL NOTES

REFER TO CIVIL & LANDSCAPE DRAWINGS FOR ALL SITE IMPROVEMENT SCOPE

**NOTE:**  
FUTURE WORK MAY INCLUDE ROOF REPAIR.  
NO ADDITIONAL WORK PROPOSED.

1 ROOF PLAN - EAST - LEGACY BUILDINGS  
A2.32 1/8" = 1'-0"

Principal	Approver
Project Manager	Designer
Drawn By	Author
Reviewed By	Checker
Job No.	0606

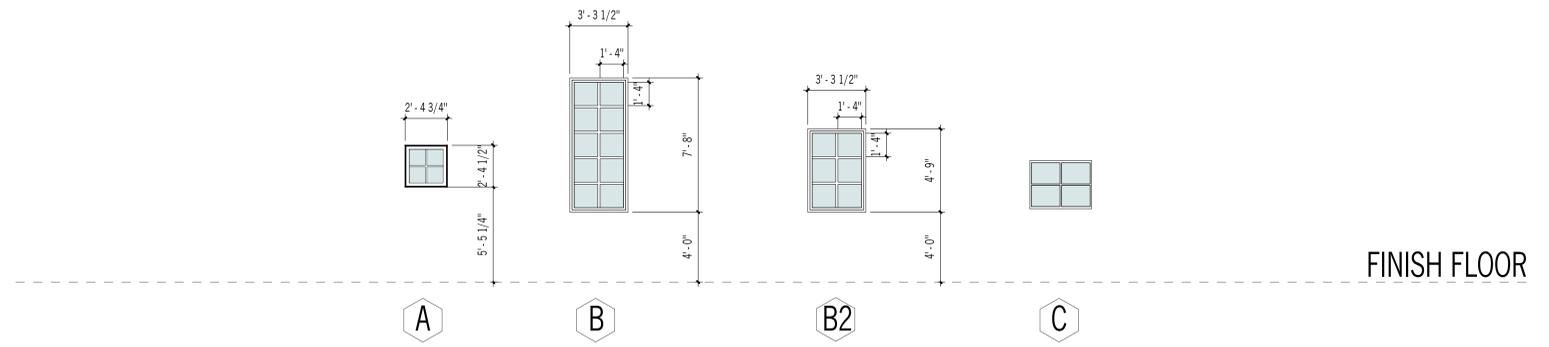
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**CONSTRUCTION**

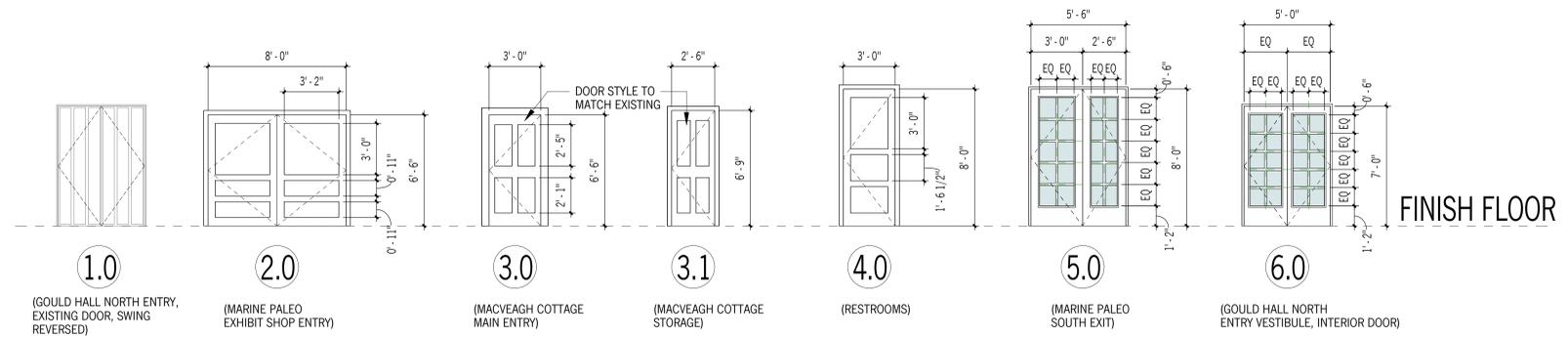
12 March 2014
Schematic Design Progress Set

Roof Plan - East

**A2.32**



**METAL WINDOW TYPES**  
1/4" = 1'-0"



**WOOD DOOR TYPES**  
1/4" = 1'-0"

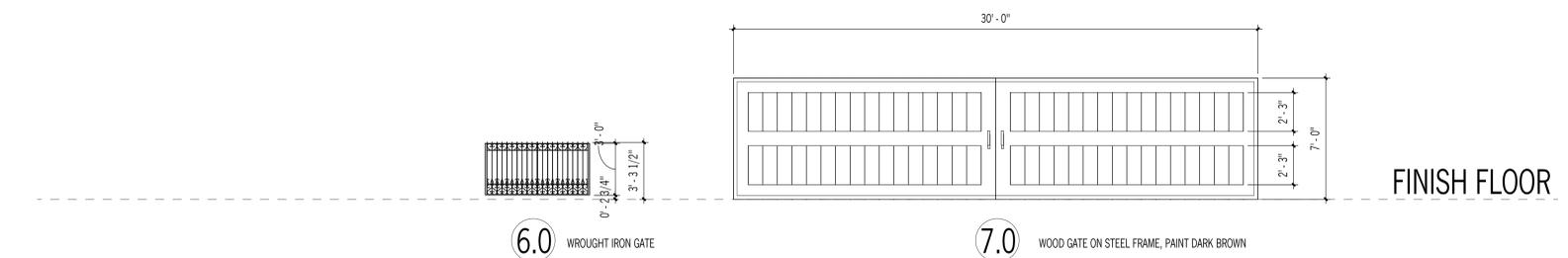


WROUGHT IRON GATE 6.0 TO BE A SIMPLIFIED VERSION OF THE FLEISCHMANN ENTRY GATE SHOWN ABOVE



DOOR 6.0 TO BE SIM. TO DOOR SHOWN ABOVE AS A REFERENCE

**REFERENCE IMAGES**



**GATE TYPES**  
1/4" = 1'-0"

Principal	Approver
Project Manager	Designer
Drawn By	Author
Reviewed By	Checker
Job No.	0606

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CONSTRUCTION**

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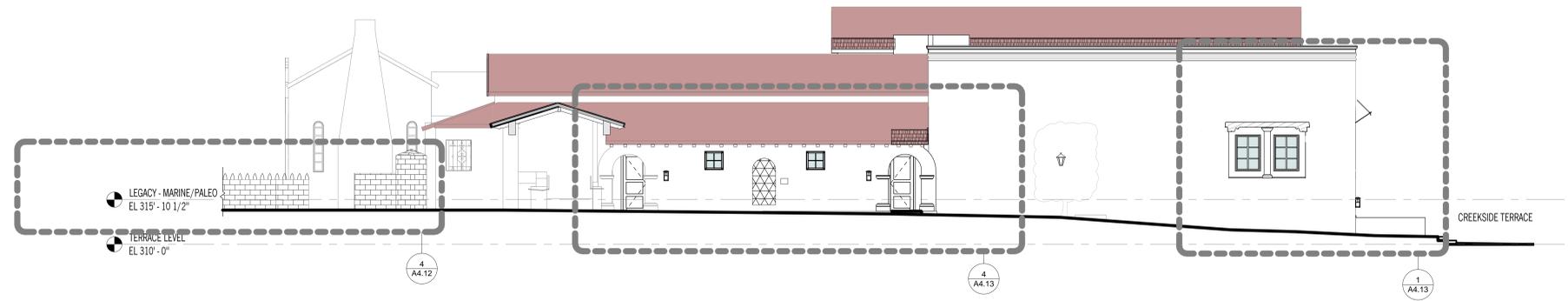
Schematic Design  
Progress Set

Door & Window  
Types

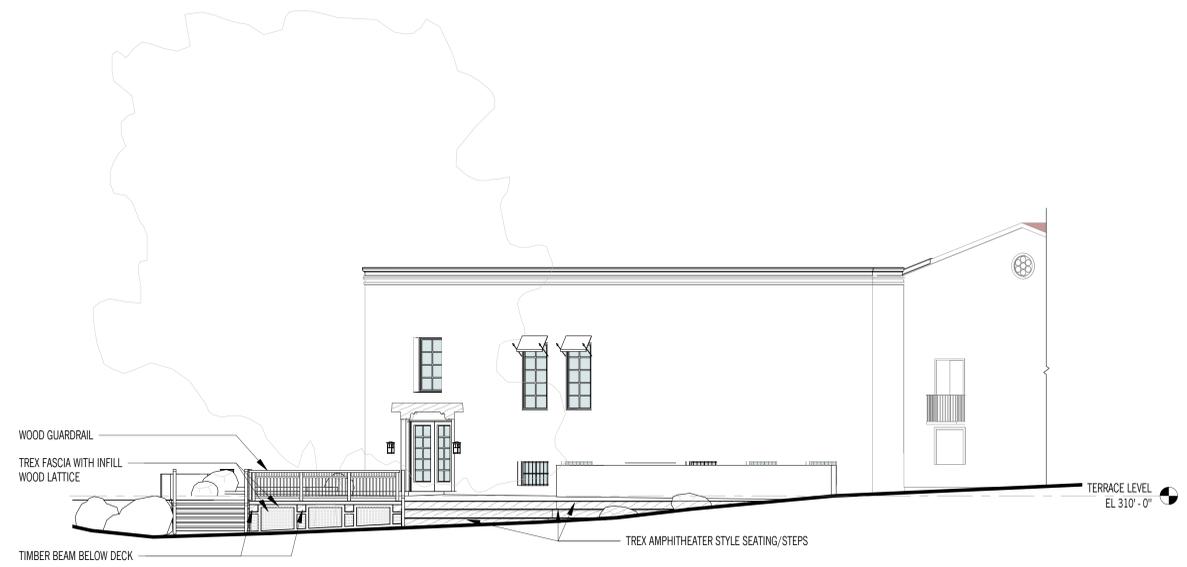
**A2.33**



1  
A3.11  
MARINE/PALEO & LEGACY BUILDING ELEVATION - SOUTH  
1/8" = 1'-0"



2  
A3.11  
RESTROOMS AND MARINE/PALEO ELEVATION WEST  
1/8" = 1'-0"



3  
A3.11  
CREEKSIDE TERRACE ELEVATION - SOUTHEAST  
1/8" = 1'-0"

Principal WS  
Project Manager JS  
Drawn By EB / CB  
Reviewed By CT  
Job No. 0606

Revisions:  
No. Date By

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12 March 2014

Schematic Design  
Progress Set

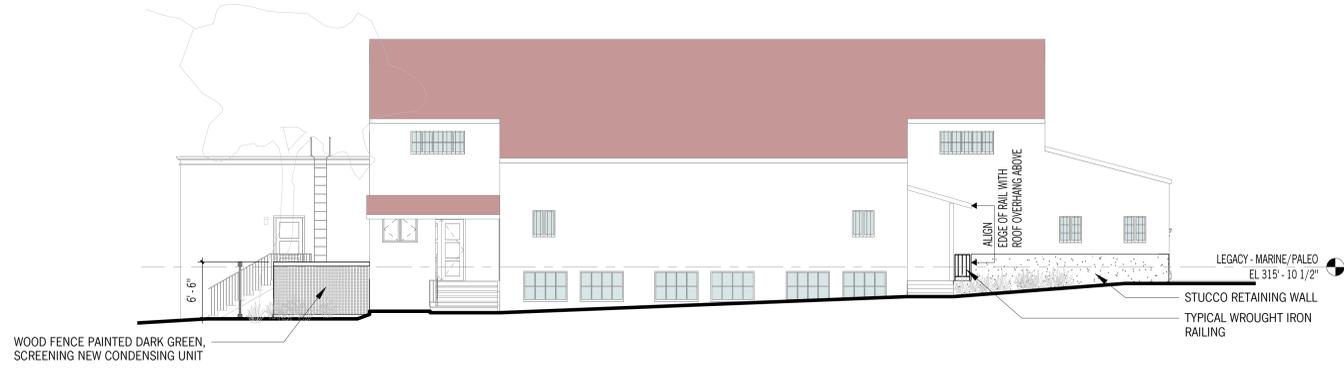
Elevations

A3.11

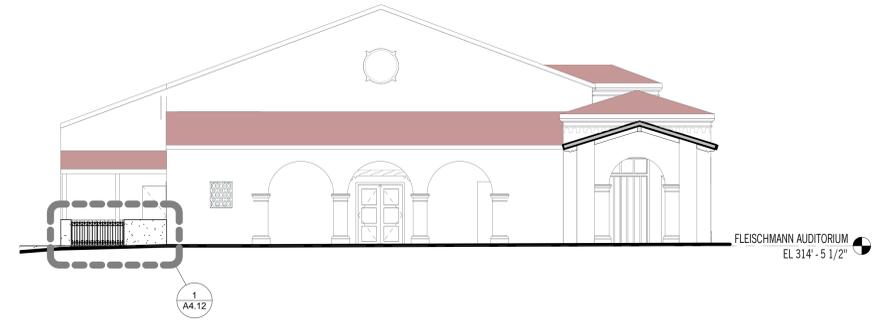


SANTA BARBARA MUSEUM OF NATURAL  
HISTORY

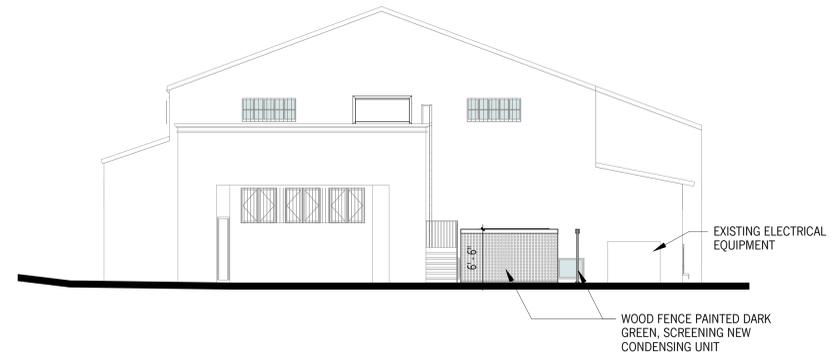
2559 Puesta Del Sol Road  
Santa Barbara, CA



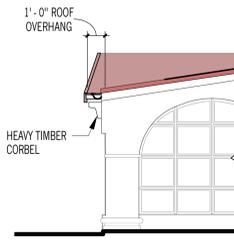
3  
A3.12  
FLEISCHMANN - SOUTH ELEVATION  
1/8" = 1'-0"



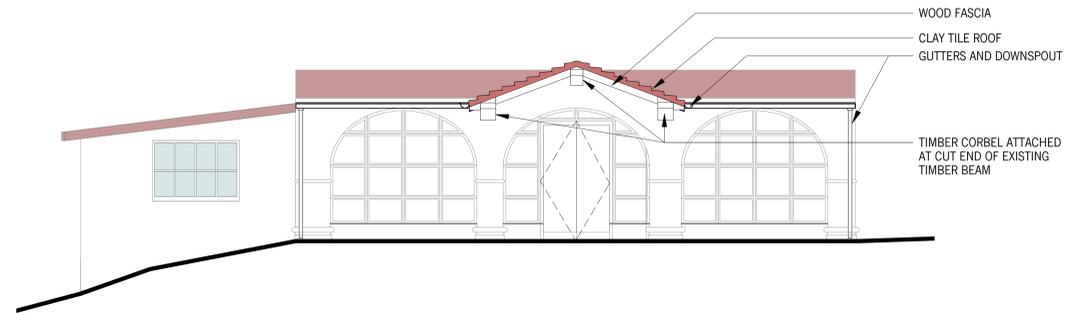
4  
A3.12  
FLEISCHMANN - EAST ELEVATION  
1/8" = 1'-0"



1  
A3.12  
FLEISCHMANN - WEST ELEVATION  
1/8" = 1'-0"



5  
A3.12  
EDUCATION - NORTH ELEVATION  
1/4" = 1'-0"



2  
A3.12  
EDUCATION - EAST ELEVATION  
1/4" = 1'-0"

Principal Approver  
Project Manager Designer  
Drawn By Author  
Reviewed By Checker  
Job No. 0606

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No. Date By

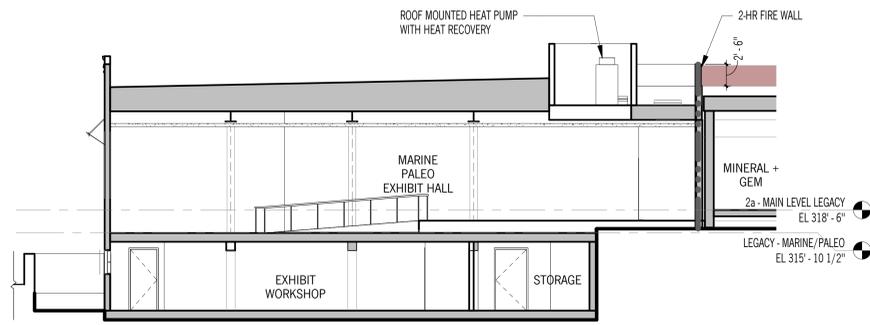
**NOT FOR  
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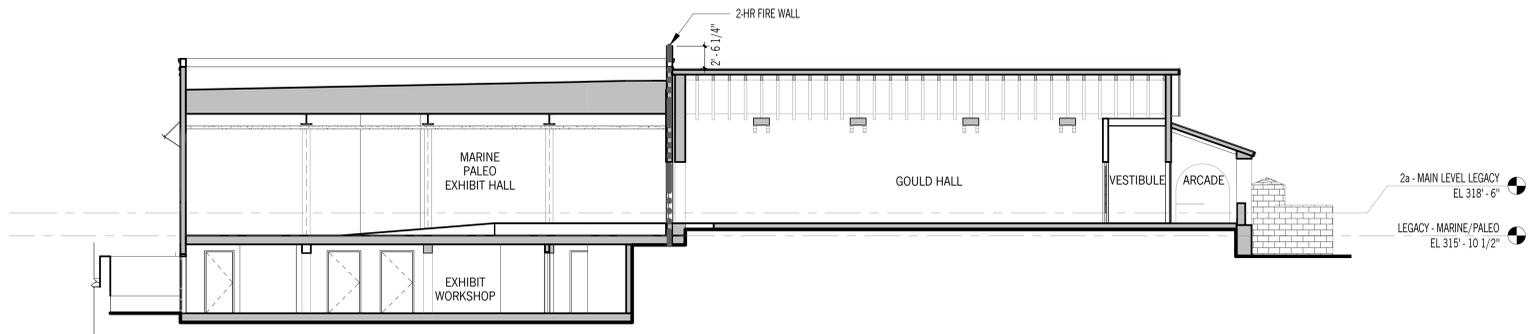
Schematic Design  
Progress Set

Elevations

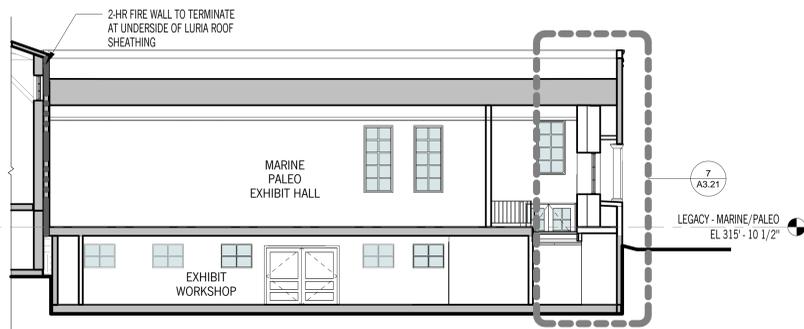
A3.12



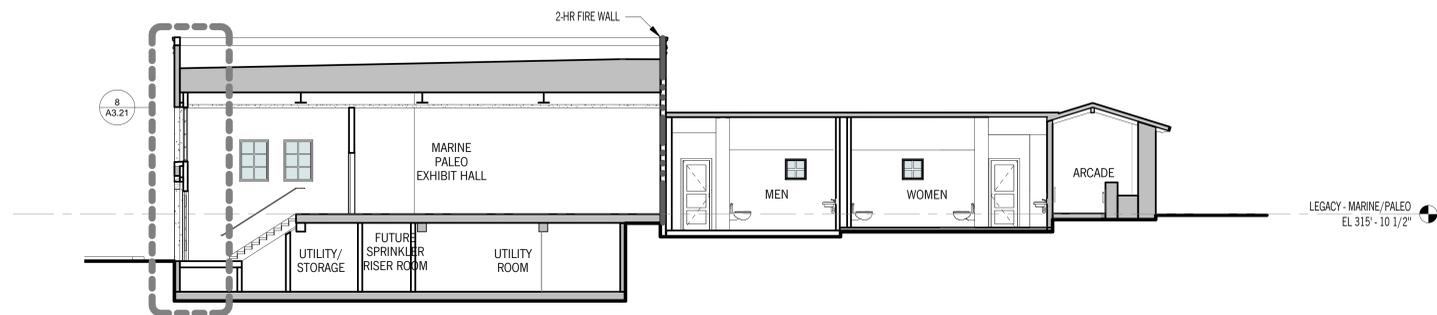
6  
A3.21 BUILDING SECTION N-S - MARINE PALEO AND MINERAL GEM  
1/8" = 1'-0"



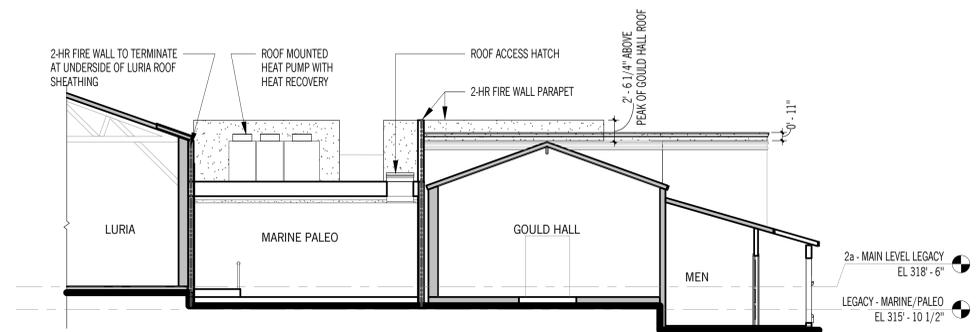
3  
A3.21 BUILDING SECTION N-S - MARINE PALEO AND GOULD HALL  
1/8" = 1'-0"



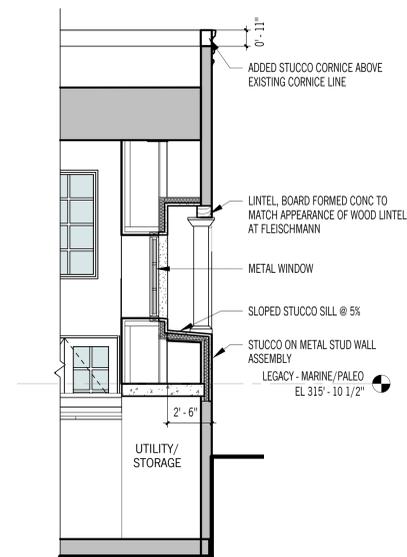
5  
A3.21 BUILDING SECTION E-W MARINE PALEO  
1/8" = 1'-0"



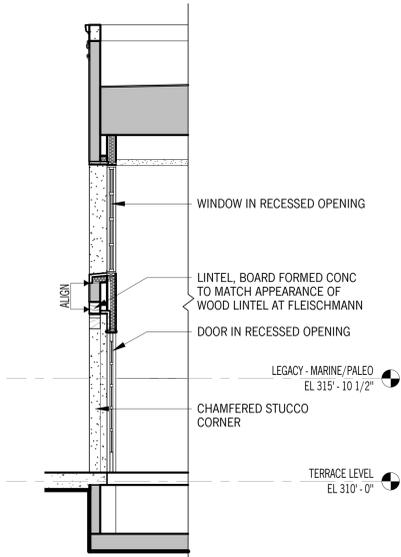
1  
A3.21 BUILDING SECTION N-S - MARINE PALEO AND RESTROOMS  
1/8" = 1'-0"



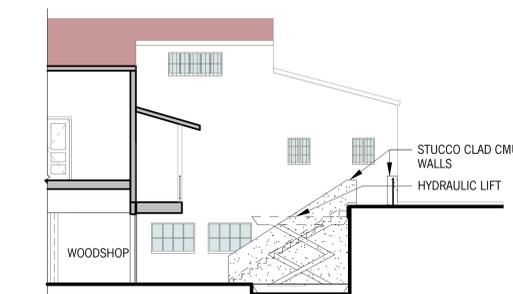
2  
A3.21 BUILDING SECTION E-W - LURIA, MARINE PALEO, GOULD  
1/8" = 1'-0"



7  
A3.21 WALL SECTION E-W MARINE PALEO  
1/4" = 1'-0"



8  
A3.21 WALL SECTION N-S - MARINE PALEO  
1/4" = 1'-0"



4  
A3.21 SECTION E-W - FLEISCHAMNN LIFT  
1/8" = 1'-0"

Principal	Approver
Project Manager	Designer
Drawn By	Author
Reviewed By	Checker
Job No.	0606

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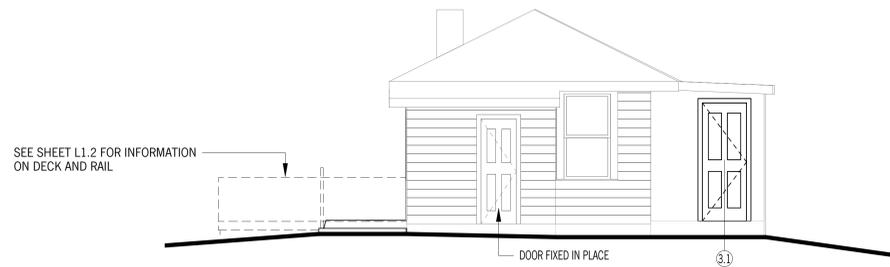
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Schematic Design  
Progress Set

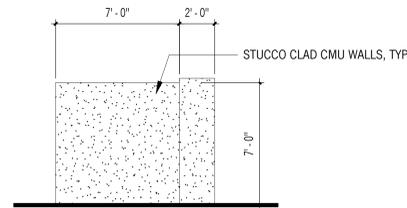
Building Sections

A3.21

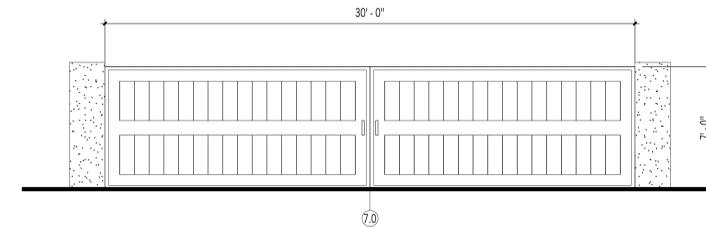


SEE SHEET L1.2 FOR INFORMATION  
ON DECK AND RAIL

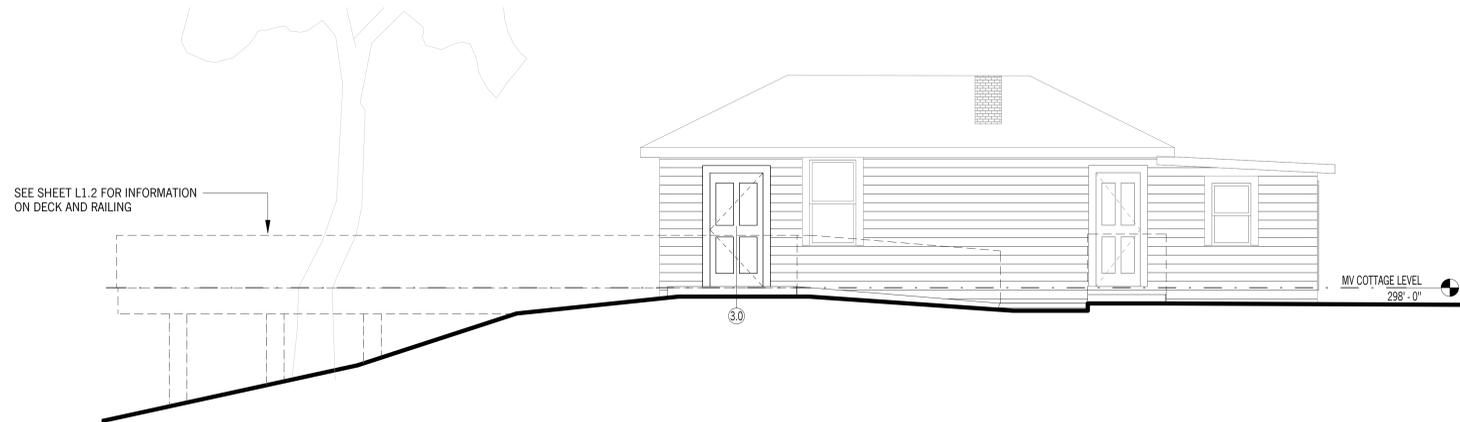
7  
A4.11  
MACVEAGH COTTAGE - NORTH ELEVATION  
1/4" = 1'-0"



5  
A4.11  
TRASH ENCLOSURE - EAST ELEVATION  
1/4" = 1'-0"

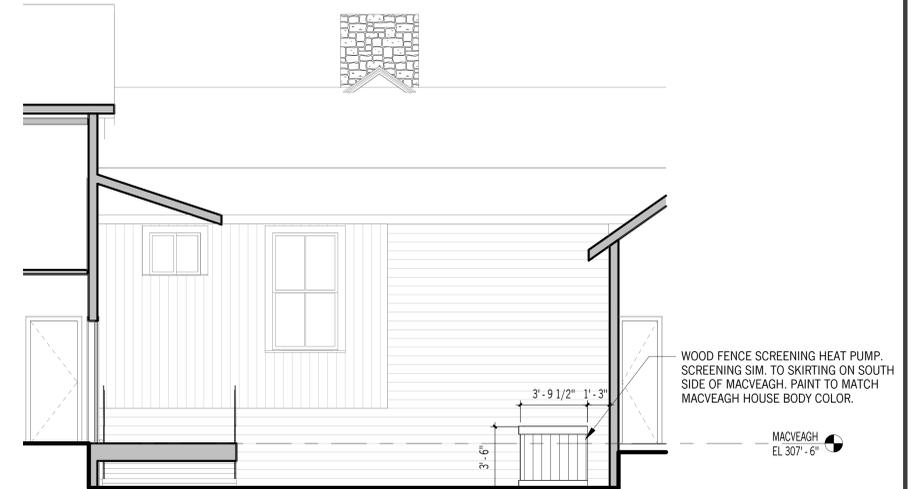


6  
A4.11  
TRASH ENCLOSURE - NORTH ELEVATION  
1/4" = 1'-0"

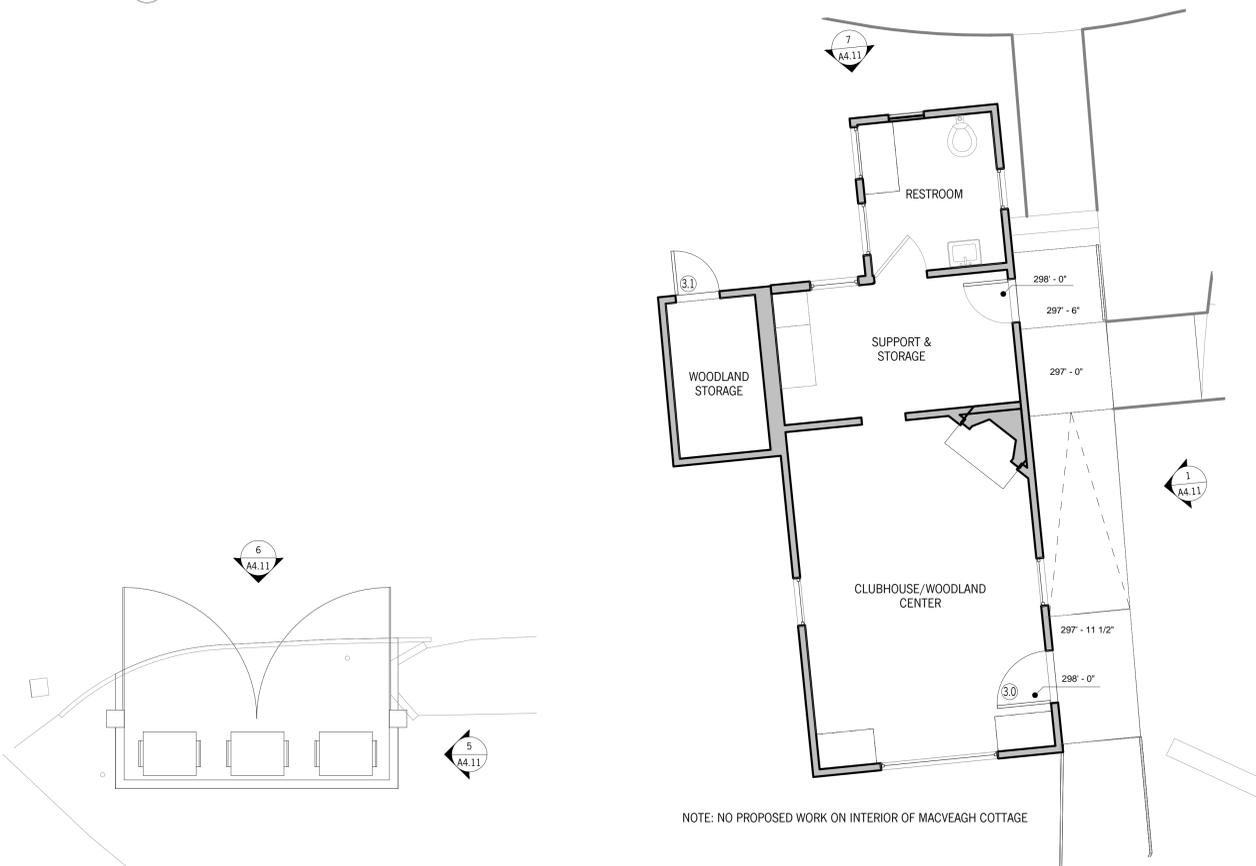


SEE SHEET L1.2 FOR INFORMATION  
ON DECK AND RAILING

1  
A4.11  
MACVEAGH COTTAGE - EAST ELEVATION  
1/4" = 1'-0"



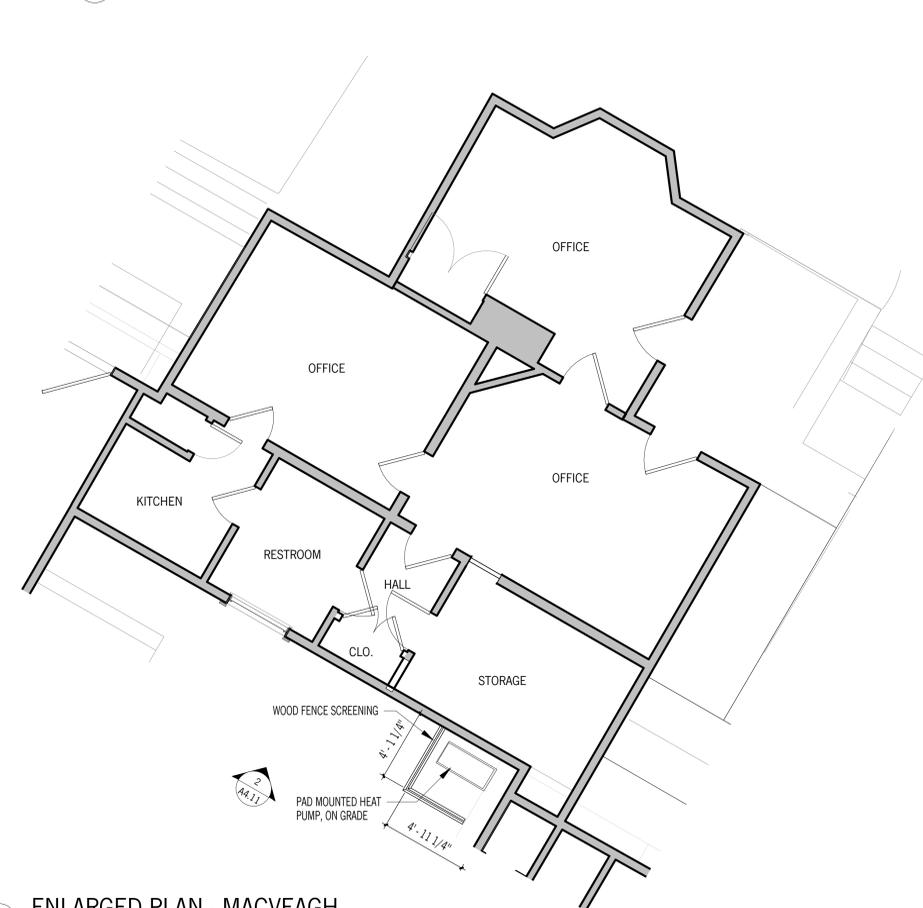
2  
A4.11  
MACVEAGH ELEVATION  
1/4" = 1'-0"



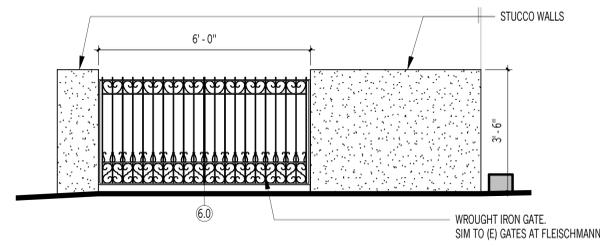
NOTE: NO PROPOSED WORK ON INTERIOR OF MACVEAGH COTTAGE

8  
A4.11  
MAIN LEVEL PLAN - WEST - TRASH  
1/8" = 1'-0"

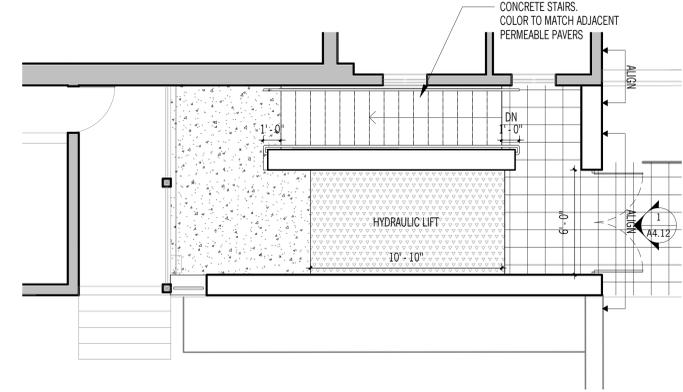
3  
A4.11  
ENLARGED FLOOR PLAN - MACVEAGH COTTAGE  
1/4" = 1'-0"



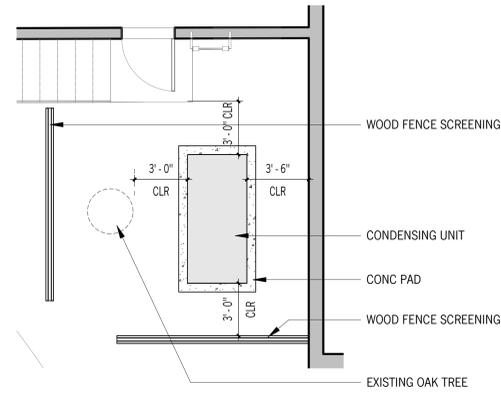
4  
A4.11  
ENLARGED PLAN - MACVEAGH  
1/4" = 1'-0"



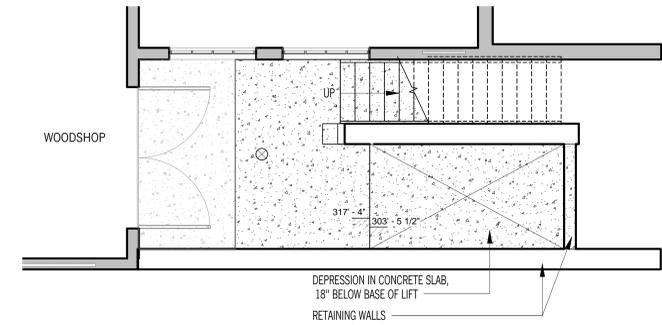
**1 ENLARGED ELEVATION - EAST ELEVATION**  
A4.12 1/2" = 1'-0"



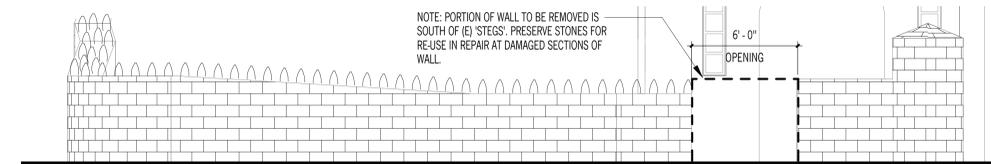
**3 ENLARGED PLAN - HYDRAULIC LIFT - FLEISCHMANN MAIN LEVEL**  
A4.12 1/4" = 1'-0"



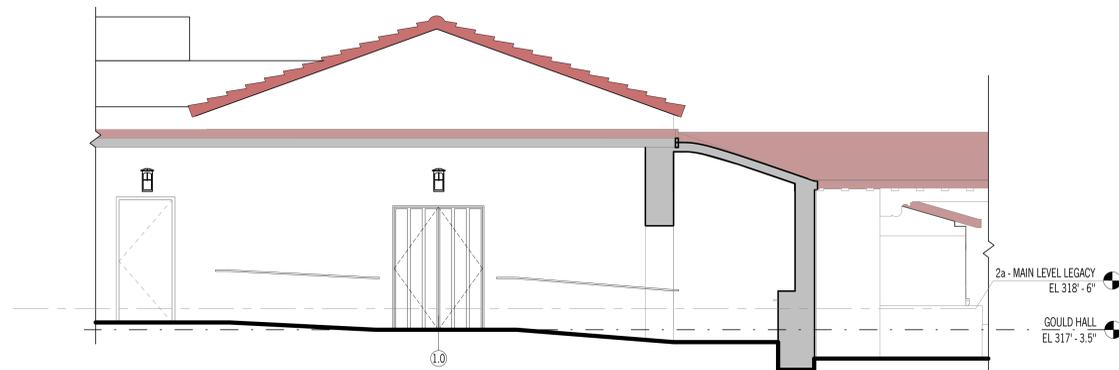
**7 ENLARGED PLAN - FLEISCHMANN HVAC**  
A4.12 1/4" = 1'-0"



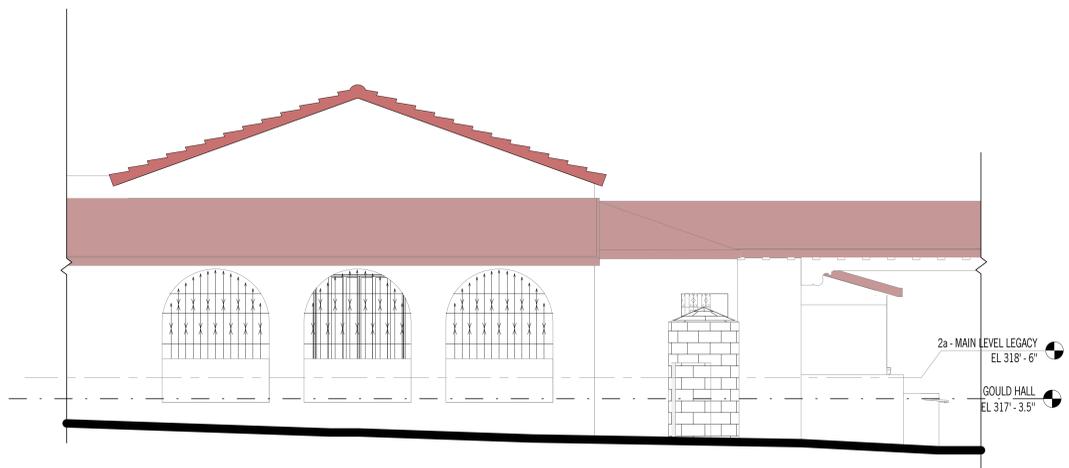
**2 ENLARGED PLAN - HYDRAULIC LIFT - FLEISCHMANN LOWER LEVEL**  
A4.12 1/4" = 1'-0"



**4 ENLARGED ELEVATION - HAZARD ESTATE WALL**  
A4.12 1/4" = 1'-0"



**6 GOULD HALL NORTH ELEVATION - INSIDE ARCADE**  
A4.12 1/4" = 1'-0"



**5 GOULD HALL NORTH ELEVATION**  
A4.12 1/4" = 1'-0"

Principal	Approver
Project Manager	Designer
Drawn By	Author
Reviewed By	Checker
Job No.	0606

Revisions:	No.	Date	By
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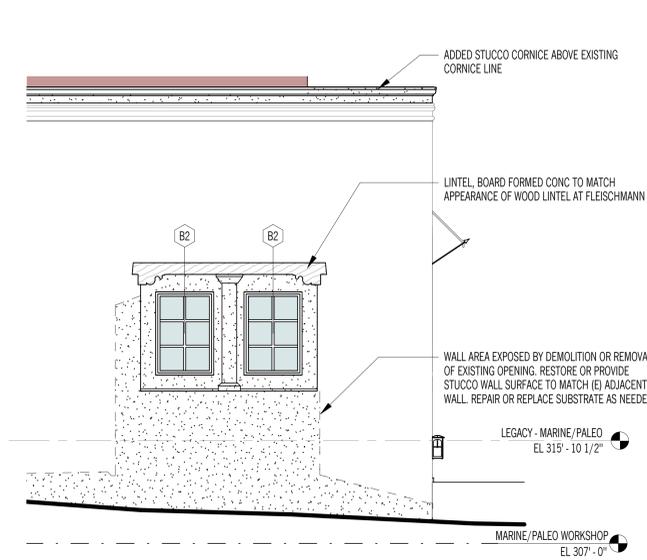
**NOT FOR  
CONSTRUCTION**

12 March 2014

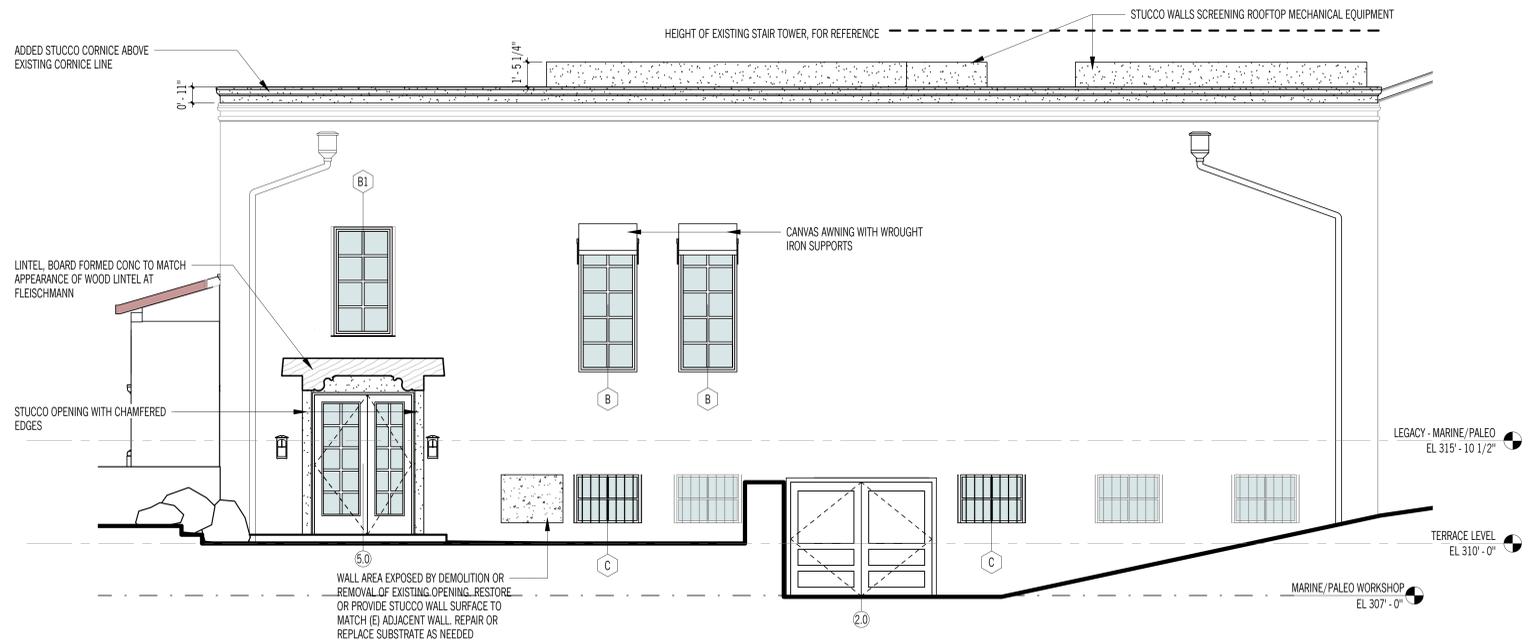
Schematic Design  
Progress Set

Enlarged Section &  
Elevations

**A4.12**



1 ENLARGED WEST ELEVATION - MARINE PALEO  
A4.13 1/4" = 1'-0"



2 ENLARGED SOUTH ELEVATION - MARINE PALEO  
A4.13 1/4" = 1'-0"

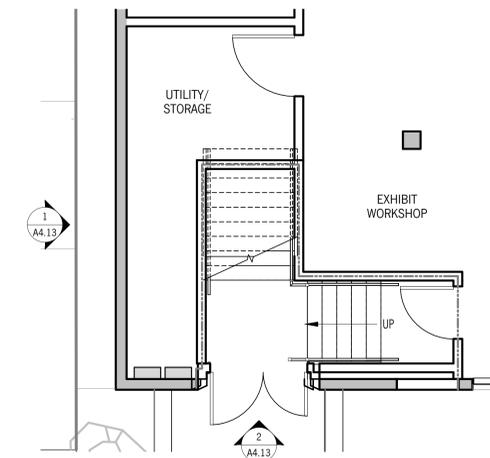


FLEISCHMANN EAST ENTRY

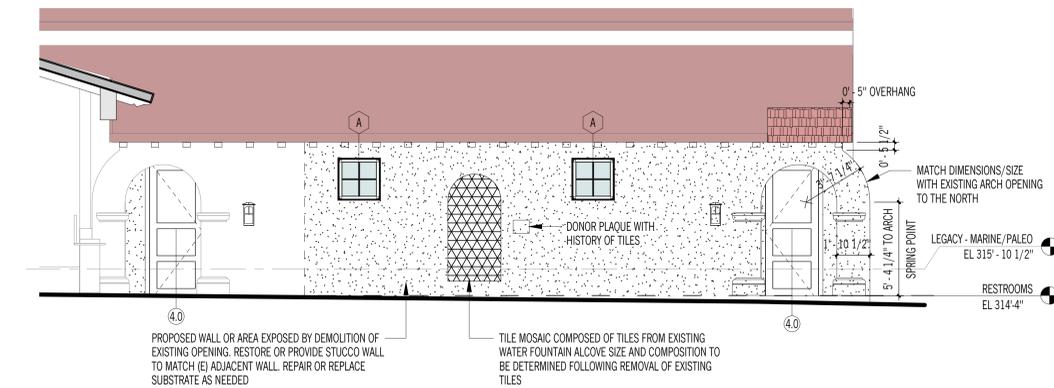
LINTEL ABOVE MARINE PALEO EXIT DOOR AND MARINE PALEO WEST ELEVATION WINDOW, SIM TO EXISTING WOOD LINTELS AT FLEISCHMANN AND ORIGINAL QUAD



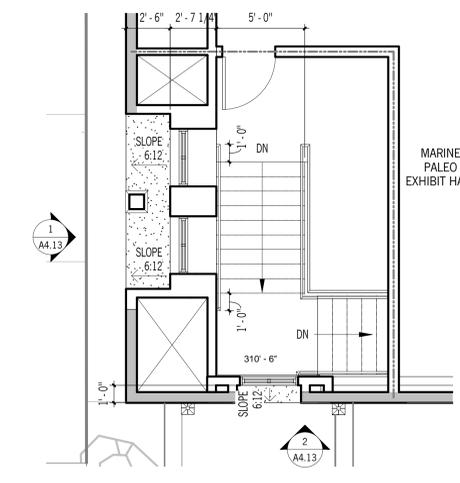
ORIGINAL QUAD MAIN ENTRY



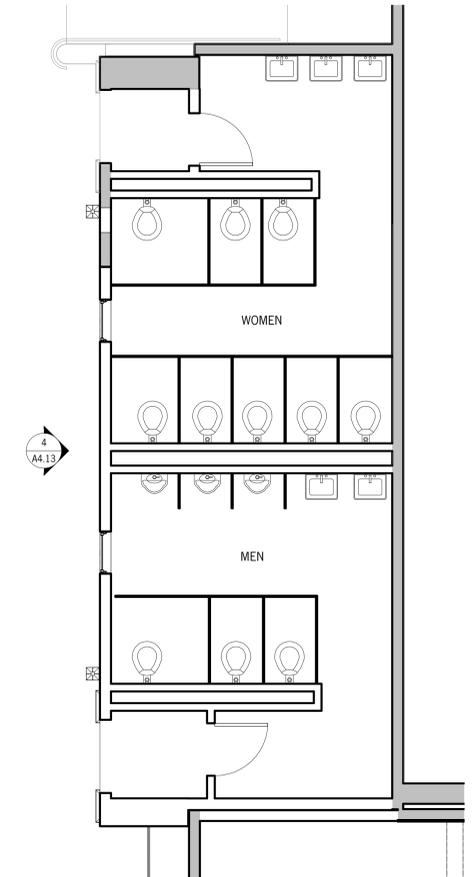
6 ENLARGED PLAN - MARINE PALEO LOWER LEVEL  
A4.13 1/4" = 1'-0"



4 ENLARGED WEST ELEVATION - RESTROOM  
A4.13 1/4" = 1'-0"



5 ENLARGED PLAN - MARINE PALEO MAIN LEVEL  
A4.13 1/4" = 1'-0"



3 ENLARGED FLOOR PLAN - RESTROOMS  
A4.13 1/4" = 1'-0"

Principal WS  
Project Manager CC  
Drawn By SM  
Reviewed By Checker  
Job No. 0606  
Revisions:  
No. Date By

**NOT FOR CONSTRUCTION**

12 March 2014

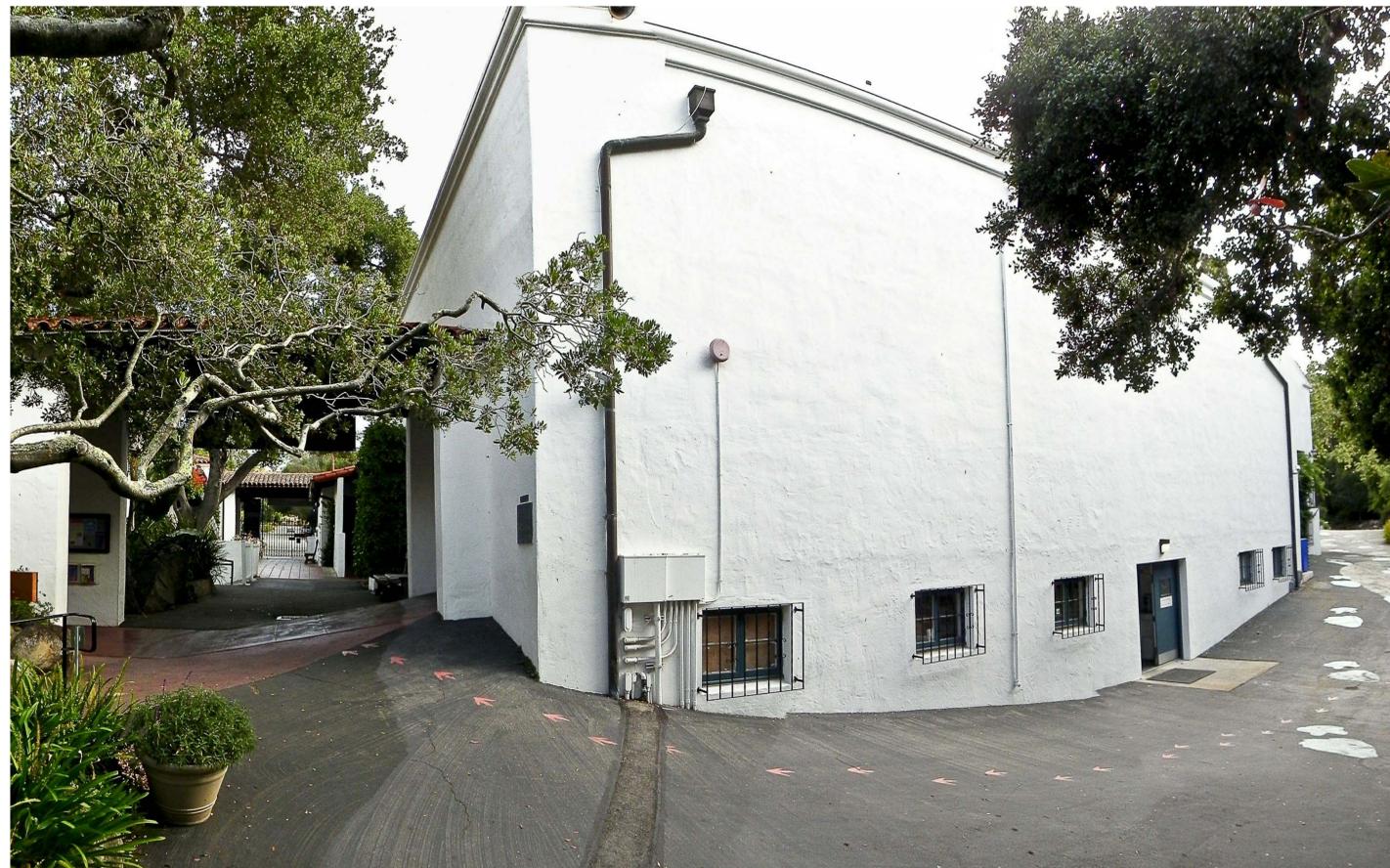
Schematic Design  
Progress Set

Enlarged Plans & Elevations

**A4.13**



○ CREEKSIDE TERRACE



○ MARINE PALEO EXHIBIT HALL - EXISTING



Principal	Approver
Project Manager	Designer
Drawn By	Author
Reviewed By	Checker
Job No.	0606

Revisions:	No.	Date	By

**NOT FOR  
CONSTRUCTION**

12 March 2014

Schematic Design  
Progress Set

Vingette

**A5.11**



KEY PLAN



CREEKSIDE TERRACE



MARINE PALEO EXHIBIT HALL - EXISTING



Principal	Approver
Project Manager	Designer
Drawn By	Author
Reviewed By	Checker
Job No.	0606

Revisions:	No.	Date	By

**NOT FOR  
CONSTRUCTION**

12 March 2014

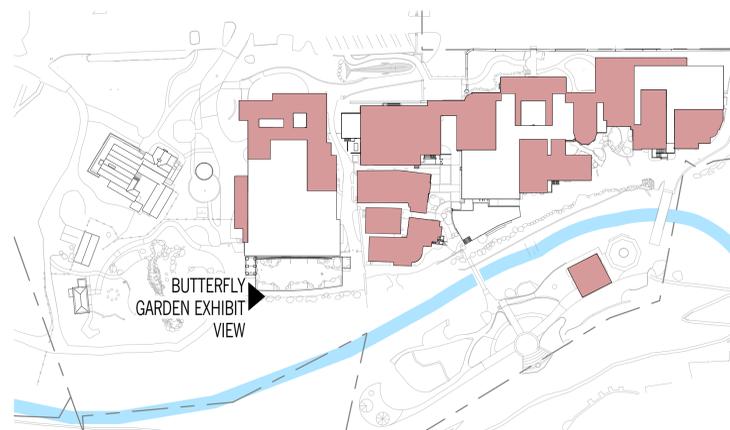
Schematic Design  
Progress Set

Vingette

**A5.11**



BUTTERFLY GARDEN EXHIBIT - View looking East



KEY PLAN



BUTTERFLY EXHIBIT - EXISTING - View looking East

Principal Approver  
Project Manager Designer  
Drawn By Author  
Reviewed By Checker  
Job No. 0606

Revisions:  
No. Date By

**NOT FOR  
CONSTRUCTION**

12 March 2014

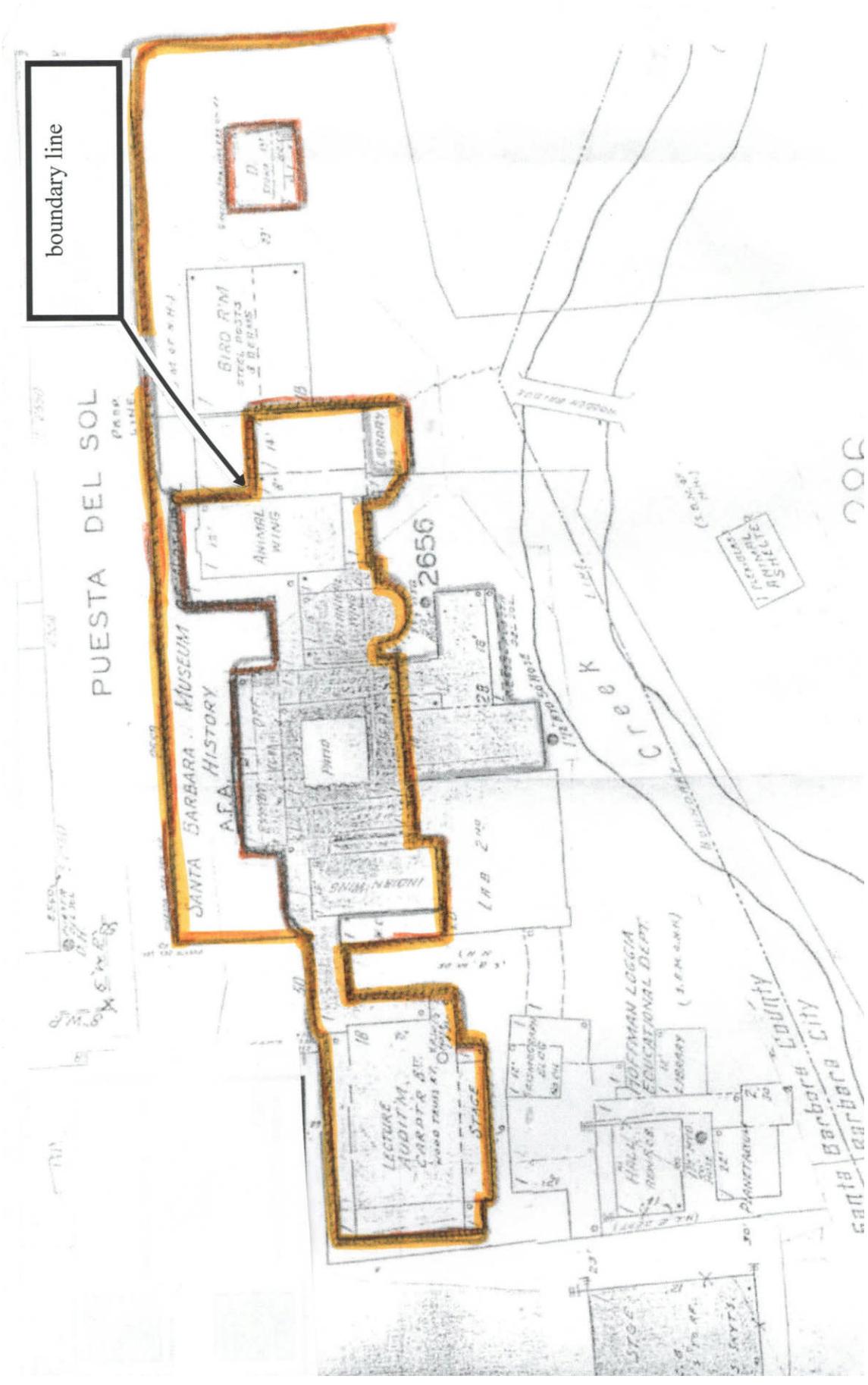
Schematic Design  
Progress Set

Vingette

A5.12

# APPENDIX B

## Existing Historic Designation and Eligible Resources



1981 Structure of Merit Designation for Main Museum Complex (outlined in orange)

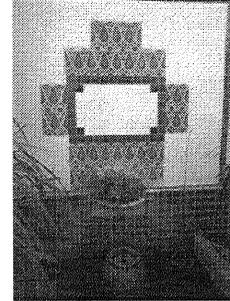


# APPENDIX C

## Conservation Plan for Fountain

## Fountain Conservation Assessment Proposal

**Client:** Luke J. Swetland  
President & CEO  
Santa Barbara Museum of Natural History  
2559 Puesta del Sol  
Santa Barbara, CA 93105



**Project:** Central Courtyard Tile Fountain

**Date of Proposal:** January 6, 2014

### Project Summary:

Silverlake Conservation was asked to assess and make recommendations regarding the condition of the fountain in the central courtyard of the Santa Barbara Natural History Museum. The fountain is a very significant architectural feature of the museum. The fountain consists of a series of elements built into a free standing, load bearing wall. The elements include a central commemorative stone tablet dedicated to Rowland Gibson Hazard and is dated 1922. Archival photographs dated to this time show only the stone tablet and the semi-circular projecting glazed ceramic basin centered approximately two feet below the tablet.

Archival photographs from 1931 show a much enhanced fountain with the addition of an eighteen 9" square decorative blue and white patterned gloss glaze tiles. A single row of solid blue 3" tiles surround the tablet with one darker blue tiles installed in each of the tablet's corner inset. Directly behind the basin and beneath the lowest row of Syrian tiles, the wall projects out approximately 4" and holds a horizontal row of 3" blue glazed tiles. The vertical wall is covered with 3" square solid blue glazed tiles, from the horizontal row of tiles that are directly beneath the Syrian tiles all the way to the ground. In the photograph, there are plantings visible beneath the ceramic basin. Two marble pedestals with carved stone depictions of birds flank the basin.

Since that time, a rectangular sandstone basin was constructed below the original ceramic basin and tiled walls. The sandstone basin has two rows of 3" square blue tiles installed on the interior vertical walls. The floor of the sandstone basin is lined with 3" blue glazed tiles. A cast metal life-sized sculpture of a bird has been added directly above the Syrian tiles.

### Condition of Fountain:

The fountain has undergone changes since the initial installation of the stone dedication tablet and ceramic basin. At this time, the overall condition of the fabric that makes up this finish is fairly good. There is some obvious and disfiguring glaze loss, clay deterioration and scale and biological growth on the tiles, grout and sandstone. We recommend all of the elements that comprise this fountain be cleaned and stabilized. These elements include:

- Eighteen 9" square Syrian decorative tiles
- All 3" square solid blue tiles
- Glazed ceramic basin

**Treatment Recommendations:**

The following recommendations are to stabilize, repair and preserve the existing historic materials.

1. The fountain elements will be photographed using digital images before, during and after treatment
2. The water in the basin will be removed and the all of the clay and stone elements of the fountain will be cleaned with a conservation grade cleaning agent, and rinsed with distilled water.
3. Biological growth will be treated with a biocide and reduced mechanically.
4. Scale on the tiles, grout and stone will be softened with solvents and reduced mechanically with wooden hand tools and possible razor blades and scalpels
5. Cracks in the tile bed and surround will be thoroughly cleaned and then injected with a cement liquid mortar and filled with an inert reversible fill material.
6. Losses in the clay, grout and sandstone will be filled with an inert, reversible fill material to mimic the surrounding profile and texture.
7. Fills in the stone or grout will be toned or tinted to resemble the surrounding material in color.
8. Losses in the glaze will be painted with a durable compatible paint system that resembles the surrounding glaze surfaces in color and sheen.
9. The grout will be sealed with a proprietary grout sealer.
10. The metal and tile elements will be waxed to provide protection from water penetration.
11. A report detailing the methods and materials used in the treatment will be written.  
Maintenance recommendations will be included in this report.

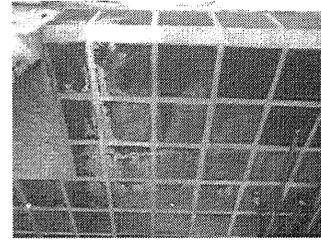
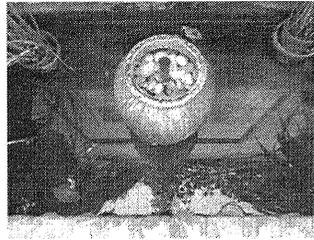
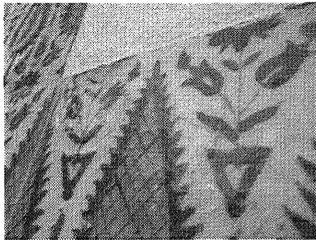
**Proposal Prepared by:** Amy Green, Conservator

- Carved stone dedication tablet
- Copper floral 3” diameter fountain spout
- Sandstone and tile basin
- Cast metal bird

### Structural Concerns:

Overall the fountain elements appear to be in good structural condition. The following conditions were noted:

- There is glaze and clay loss on at least six of the 9” Syrian tiles.
- The mechanical workings of the plumbing are unclear. There is a plant placed inside the original ceramic basin and the metal spout does not appear to be of use at this time.
- There are several inches of standing water inside the sandstone basin.
- There appears to be have been some movement in the plaster and stucco wall where the fountain is installed that has caused hairline cracks in the 3” square blue tiles directly above the lowest course of Syrian Tiles.
- There is a horizontal crack in the 3” square tiles below the basin that appears to be due to ground movement.



### Visual Concerns:

Overall the fountain is in fair visual condition.

- There is significant glaze loss on the bottom four Syrian tiles that are directly behind the ceramic basin.
- There is biological growth and scale on the tiles that were in contact with fountain spray or standing water.
- The tiles that line the sandstone basin have both scale and biological growth visible.
- The original ceramic basin has glaze and clay loss.
- The ceramic basin has scale on most visible interior surfaces.

