

DRAFT PHASE 1-2
HISTORIC STRUCTURES/SITES REPORT

For

821 Coronel Street
(APN 035-243-012 AND 035-243-013)
Santa Barbara, California

MST 2016-00292

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1.0 INTRODUCTION, REGULATORY SETTING & PROJECT HISTORY

This Phase 1-2 Historic Sites/Structures Letter Report is for a 0.98-acre property at 821 Coronel Street, Santa Barbara, California (Figures 1 & 2) (APN 035-243-013 & APN 035-243-012). The study provides the following: 1) Evaluate the potential significance of sandstone landscape features whose significance has not been previously assessed; and 2) Evaluate the impacts of the proposed project on designated and potential historic resources on and adjacent to the project parcels. The California Environmental Quality Act (CEQA) guidelines state that proposed projects are to be analyzed to determine potential effects to historic resources. HR1 of the 2012 Historic Resources Element of the Santa Barbara General Plan provides for the protection of cultural and historic resources. Guidelines for determining the significance of a property are outlined in the City of Santa Barbara Master Environmental Assessment (MEA) (City of Santa Barbara MEA: *Guidelines for Archaeological Resources and Historic Structures and Sites Reports* (January 2002)). The Phase 1 component of the study will evaluate sandstone landscape features predating the relocation of the Hunt-Stambach house to the property in the mid-1960s that have not been previously evaluated. The Phase 2 HSSR component of the study will evaluate potential impacts to significant historic resources on or adjacent to the project parcel from the proposed project. Prepared by *Post/Hazeltine Associates*, this Letter Report follows the guidelines for such studies set forth in the City of Santa Barbara MEA. Unless otherwise noted the photographs were taken in May of 2016.

1.1 Previous Historic Resources Studies and Designations

The Hunt-Stambach House was designated by the City Council as a City of Santa Barbara Landmark on March 15, 1983. The house is eligible for listing in the California Register of Historical Resources and the National Register of Historic Places (per a previous HSSR prepared in 1999). Three previous Historic Structures Reports have been prepared for the property (Architectural Research Consultants 1991 and 1992 & Post/Hazeltine Associates 1999).

(see next page)



Figure 1
Location Map for the property at 821 Coronel Street

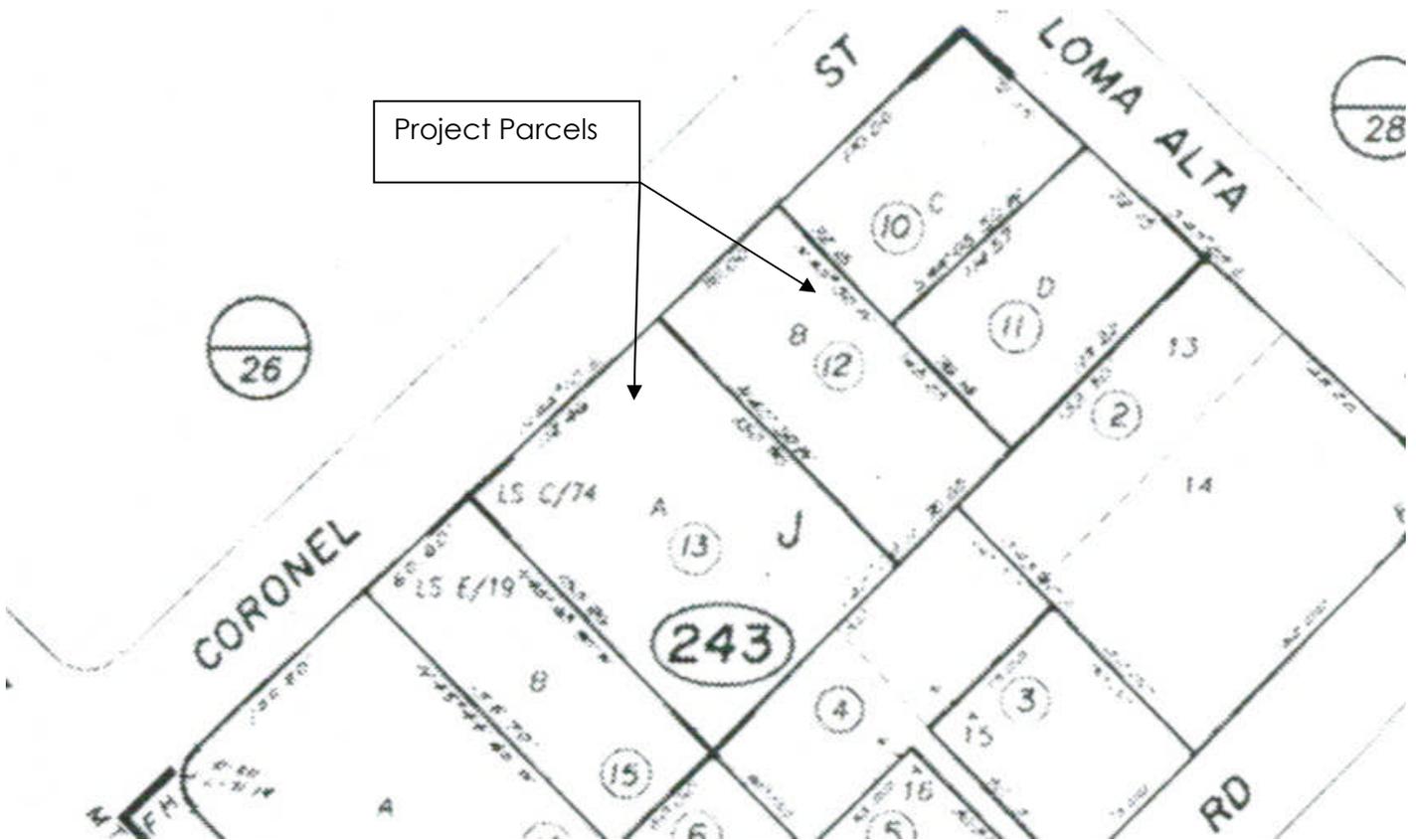


Figure 2
Location Map for the property at 821 Coronel Street

2.0 PROJECT DESCRIPTION

The applicant proposes to construct a semi-detached 1,045 square-foot (gross) two-story addition off the northwest corner of the existing 2,450 square-foot two-story house. On its first floor the addition would encompass a hallway linking the existing house to the garage, family room closet and staircase (570 square feet of living space and a 575 square-foot (gross) garage). The second floor would house two bedrooms and a bathroom (475 square feet (gross) (Figures 4- 5b and Appendix A). Construction of the addition and its related improvements would require the removal of the following: 1) the west elevation of a one-story addition built after 1965; 2) a retaining wall built of roughly-shaped sandstone blocks that appears to have been installed in 1966 to support a carport and provide a space for off-street parking; 3) removal of a large diameter Eucalyptus tree that was in-place when the house was moved onto the property in 1966; 4) portions of the existing landscaping off the north side of the house would be removed; 5) No alterations are proposed to the character-defining elements of the Hunt-Stambach House; and 6) the sandstone retaining wall, steps, wall fountain and reflecting pool located off the northeast corner of the house, would remain in-

situ and unaltered. The architect for the project is Steven V. Harrel.

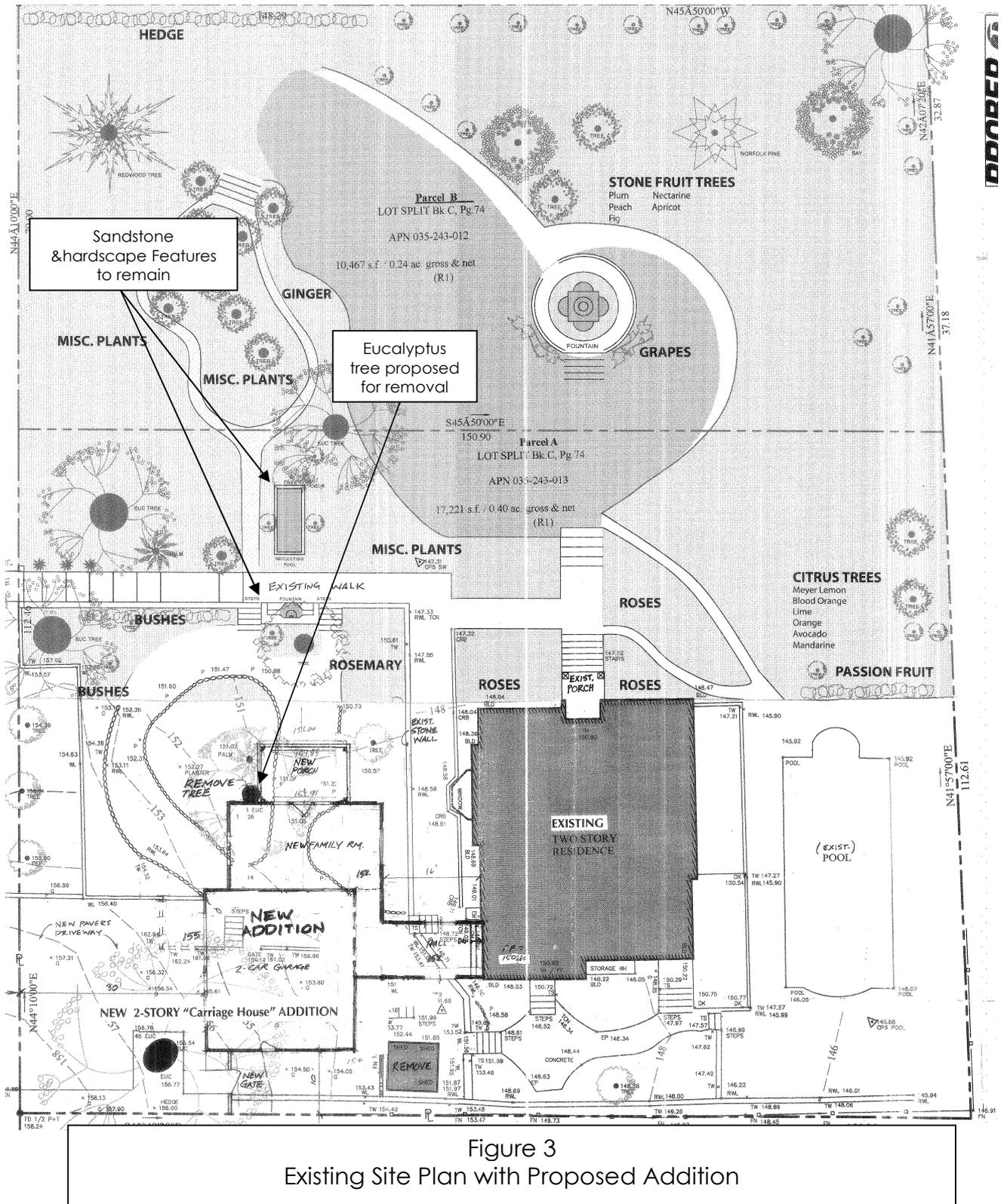


Figure 3
Existing Site Plan with Proposed Addition

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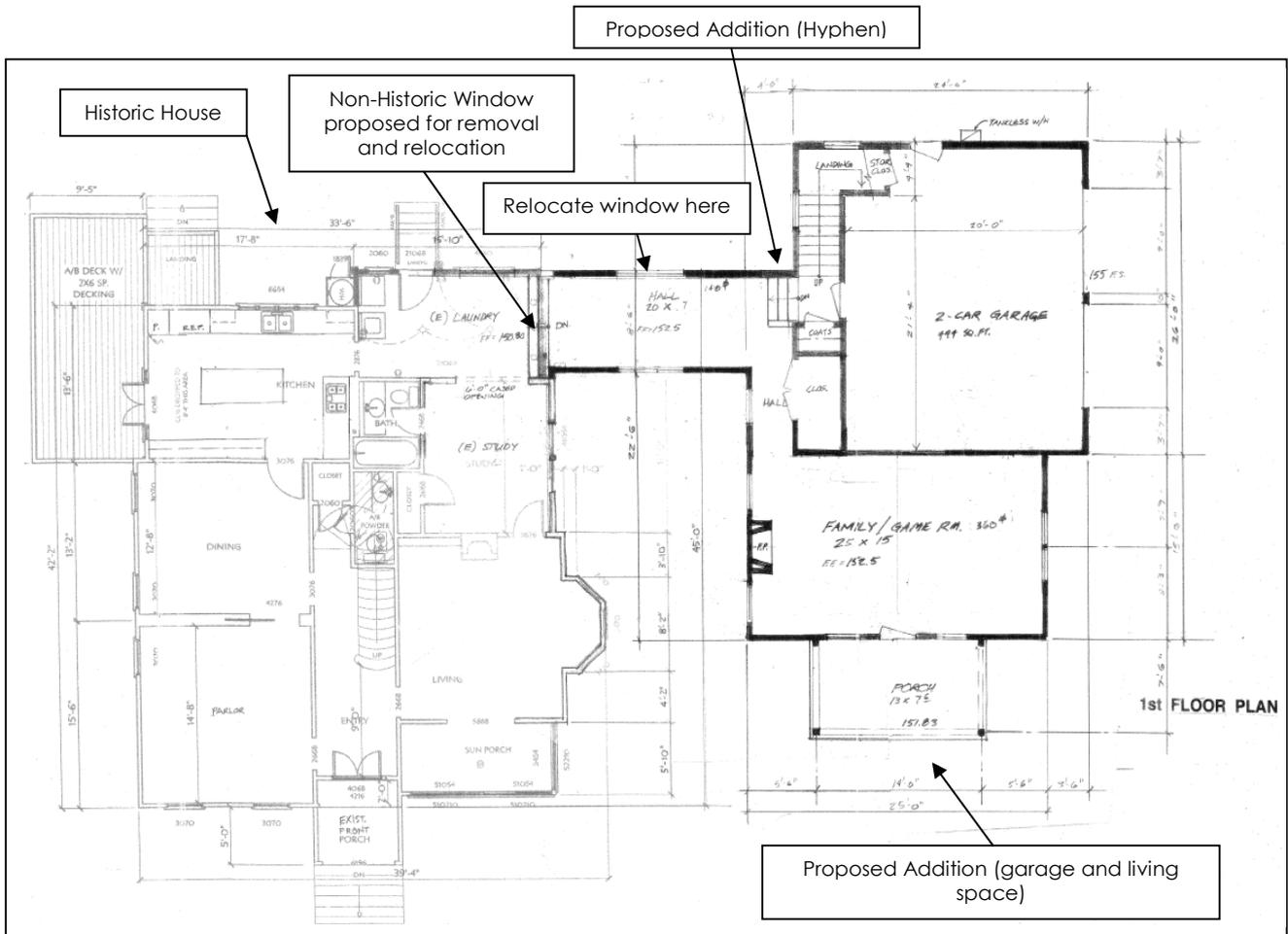


Figure 4a
Existing and Proposed Floor Plan: First Floor

3.0 HISTORIC CONTEXT

3.1 The History of the Hunt-Stambach House

The Hunt-Stambach House was designed by the noted architect Peter Josiah Barber for Colonel Charles C. Hunt in 1874, four years after the architect arrived in Santa Barbara from San Francisco (Figure 6). Hunt was a successful Santa Barbara businessman who founded the stationary store that later became Hunt's China Shop. Barber chose to build Hunt's house in the Italianate style, the most popular architectural style in Santa Barbara, as well as other regions of the country during the early 1870s.

Originally, the Hunt/Stambach house stood at the corner of State and Anapamu Streets. After its purchase by Dr. Henry Stambach, in 1887, it was moved, in 1890 to 20 West Victoria Street (1955 Hunt-Stambach Relocation blueprint). Stambach was a prominent physician who not only lived in the house but maintained his office there (D'Alfonso, 1979: 30-31). The house remained at this location until 1955 when it was purchased by the Santa Barbara Assistance League and moved a second time to the corner of Montecito and Castillo Streets, 401 West Montecito Street (Days, 1982). Ten years later, in 1965, the house was sold three times in the space of one year. In 1965, it was initially sold to Maho Realty who in turn sold it the following year to Mobil Oil Corporation. Mobil purchased the property with the intention of demolishing the house to make way for a proposed gas station. The house was eventually saved from demolition when it was purchased from Mobil by John Alexander in the summer of 1966 (*Santa Barbara News Press*, 1966). In November of 1966 Alexander arranged to have the house moved to its present location at 821 Coronel Street. In order to expedite the financing and relocation of the house, the Santa Barbara City Council approved a lot split of the Falvy estate into two separate lots. The house was moved over a two-day period, between November 28th and November 30th, with both the assistance of the City of Santa Barbara and the local power company (Architectural Research Consultants, 1991: 2-3).

3.2 Peter Barber

Peter Barber (1830-1905) was born in Ohio in 1830 and like many other young men came to California in 1852 to seek his fortune during the Gold Rush. He settled in San Francisco where, though not formerly trained, he set up a successful architectural practice. Barber subsequently moved to Santa Barbara in 1869, becoming the first professional architect to practice in the City. Responding to the requests of a community that was increasingly seeking architectural styles that reflected Anglo inspired schemes, Barber began to design houses for some of Santa Barbara's most notable and influential citizens. A few of Barber's commissions include the Mortimer Cook House, 1872 (1407 Chapala Street), the Thomas Hope House, 1875 (339 Nogal Street), the Joseph Sexton House, 1880 (5494 Hollister Avenue) and the Lincoln House, 1871 (now the Hotel Upham, located on the corner of Sola and Chapala Streets). Two of the largest houses Barber built have been since demolished. These include the Thomas B. Dibblee Mansion on the Mesa, (demolished in the late 1920s, now the site of Santa Barbara City College) and the Gaspar Oreña Mansion on Laguna Street (demolished in the late 1920s, now the site of Roosevelt School). Non-residential works include the since demolished Arlington Hotel, the original Cottage Hospital, the Upper Hawley Block and a design Cabrillo Boulevard (patterning the design after the waterfront thoroughfare he had seen at Lake Geneva, Switzerland).

Peter Barber's contributions were not just in the field of architecture. He headed the earliest Chamber of Commerce, was mayor during the time President Benjamin Harrison (1889-1893) visited Santa Barbara, and subsequently represented the White House at the launching of the battleship Ohio, in 1901. Still working at the age of 75, Barber died in Santa Barbara of a stroke on January 27, 1905.



Figure 6
Hunt-Stambach House circa-1890
(D'Alfonso 1979: 30)

4.0 EXISTING CONDITIONS

Located near the intersection of the 400 block of Loma Alta Street and the 800 block of Loma Alta Street, the Hunt -Stambach House has been at its current location in the Ladera Tract

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since 1966 (see Figures 1 and 2). The parcel is bound by Coronel Street to the north and by adjacent parcels on the north, south and east. A five-foot tall masonry wall, built in 1985, runs along the Coronel Street frontage and partially screens the property from public view. An elevated platform, which is the location of the off-street parking is defined by sandstone retaining walls, is located at the northwest corner of the parcel. The property is embellished with several decorative elements, including a lion's head wall fountain set into the retaining wall and a concrete-lined reflecting pool. These features were once part of a garden that existed on the property before the Hunt-Stambach House was moved onto the parcel in November of 1966. The two-story, wood-framed, Italianate Style house was built in 1888. Placed near the southwest corner of the property the house is set on a continuous concrete foundation, the rectangular wood-framed house is capped by a pyramidal hipped roof topped by a cupola (see Figure 2). The house's fenestration is primarily comprised of double hung sash windows capped by elaborate window crowns. A wood and metal carport, built in 1966, is located just to the southwest of the house. The property's landscaping is comprised of informally planted trees, shrubs and flowers, as well as a number of hardscape elements, such as retaining walls and a fountain, some of which survived from an earlier estate's garden. The most notable plant on the property is a large 40-inch diameter Eucalyptus tree located near the northwest corner of the parcel. The most recent addition to the hardscape is a rectangular swimming pool located off the house's east elevation that was installed in 1972.

4.1 The Hunt-Stambach House

In its design, scale, massing, and materials the two-story, wood framed Hunt-Stambach House represents a regional interpretation of the Italianate style (Figure 7). During the 19th century in California, the expense of constructing in brick made wood the preferred material for residential construction (brick or wood frame with stucco cladding was the most common exterior finish for Italianate style houses east of the Mississippi, while wood was most common west of the Mississippi. Most Italianate style houses in California used horizontal tongue-and-groove sheathing which placed more emphasis on the wall surface as a component of the overall decorative scheme than brick-walled or stucco-clad houses. The house's wood frame construction also precluded the use of masonry or molded stucco door and window surrounds that characterized the style in much of the rest of the country. Instead, these decorative features were assembled from machine or hand carved wood elements.

The wood frame house is composed of interlocking rectangular volumes capped by low-pitched hipped roofs whose extended eaves are supported by scrolled brackets. Set on a raised foundation sheathed in vertical wood boards the house's exterior walls are clad in two types of horizontal tongue-and-groove siding. A range of Italianate style architectural elements and features including the elaborate wood cornice composed of dentil style moldings and paired and single scrolled brackets. Window surrounds feature Italianate style moldings supported by shallow scrolls. The entrance porch's cornice is of a similar style but features a different type of scrolled bracket. The glazed porch features yet another type of cornice with more closely spaced brackets and no dentil moldings. Architectural detailing reaches its greatest level of elaborateness on the main entrance (east elevation) while the other side of the house feature less detailing. The rear of the house, which was its service side, was the most reductive in regards to its design, features shed-roofed additions on the first and second floors.

4.1.1 East Elevation (façade)

The L-shaped east elevation is the façade of the house (Figure 7). The fenestration is comprised of a series of paired and single rectangular double hung sash windows capped with window crowns supported by volute scrolls. Two of the windows are located on the first floor while five are located on the first floor. A flat-roofed entrance porch, sheltering the double glazed wood panel front doors (capped by a transom), extends off the north end of the elevation's projecting element. Accessed via a flight of wood steps, the porch is supported by Italianate style wood piers embellished with dentil moldings and scrolled woodwork, that are set on wood plinths. Off its north side the entrance porch is flanked by a recessed, glazed flat-roofed porch extending the length of the elevations' recessed element. The glazed porch's roof is supported by square wood posts set on narrow, rectangular wood piers and a solid wood parapet.



Figure 7
Hunt-Stambach House in May of 2016
(entrance façade, north elevation)

Modifications and Alterations to the East Elevation

The following modifications were made before the house was moved to its current location in 1966:

- The scrollwork capping the first floor windows was removed; and
- The three scrollwork elements capping the entrance porch's cornice were removed.

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- The porch's openings were glazed and a solid parapet was installed to support the new glazing. It was at this time that the window sheltered by the porch was replaced with an opening or doorway (These alterations occurred sometime before the HABS recordation of the house in 1965);

The following modifications were made after the house was moved to its current location in 1966:

- When it was relocated to Coronel Street in 1966 the house was set on taller raised, which required the installation of a longer and taller set of steps;
- The porch skirting was replaced; and
- A set of iron railings were added to front steps.

4.1.2 North Elevation

The north elevation faces towards Coronel Street. It is comprised of three elements with the east end of the elevation composed of the two-story main block of the house flanked on its west end by a somewhat more diminutive two-story block (housing the kitchen) comprised of one and two story elements. At its west end the kitchen wing is flanked by an enclosed one-story porch. The fenestration of the original two-story element is comprised of a first floor tripartite bay window on the first floor that is flanked on its south side by a paired double sash window (Figures 8 -9). At the west end of the elevation is the one story element, which was once a semi-open porch that was later enclosed. The porch's fenestration is comprised of a triple, multi-light casement window (Figure 10).

Modifications and Alterations to the North Elevation

The following modifications were made after the house was moved to its current location in 1966:

- As late as 1965 the rear porch at the west end of the elevation was still unenclosed (as documented by the 1965 HABS drawings). Sometime after its relocation to Coronel Street in 1966, the back porch was enclosed (see Figure 9); and
- The second floor addition at the west end of the elevation was added sometime after 1966 (see Figure 10). However, since no building permit could be located for this change, a precise construction date cannot be determined.

4.1.3 South Elevation

The south elevation is comprised of the main two-story block of the house, which is flanked on its west end by a one-story kitchen wing. A small second floor addition rests above the kitchen wing (though no permit exists in the City Street File a personal interview with John Alexander in 1999, indicates that the addition was added in the late 1960s; source: Architectural Research Consultants, 1991: 7) (Figure 11).



Figure 8
North Elevation in May of 2016 (side elevation, looking east)



Figure 9
West end of the North Elevation, looking east



Figure 10
North Elevation, with detail of Second Floor, looking south

The fenestration of the main block consists of five double hung sash windows capped by wood cornices (see Figure 11). Four of the windows, two on the first floor and two on the second floor are centered at the elevation's midpoint. The remaining window is placed near the west end of the elevation on the first floor. The fenestration of the one-story kitchen wing is comprised of a single casement window on the west side. Single-light double French doors open onto a wood deck that runs along the length of the recessed kitchen wing (Figure 12).

Modifications and Alterations to the South Elevation

The following modifications were made after the house was moved to its current location in 1966:

- As late as 1965 the rear porch was still unenclosed (as documented by the 1965 HABS drawings). Sometime after its relocation to Coronel Street in 1966, the back porch was enclosed;
- The second floor addition at the west end of the elevation was added sometime after 1966. However, since no building permit could be located for this change, a precise construction dates cannot be determined; and
- A raised wood deck surrounded by a railing was added to the west end of the elevation within the last 30 years.

4.1.4 West Elevation

The west elevation is the rear elevation of the house. It is comprised of a one-story wing that projects from the recessed two-story element of the house's main block. At the north end of



Figure 11
South Elevation, looking north



Figure 12
South Elevation, detail of the west end of the elevation

the elevation a wood panel and glass door provides access to the enclosed rear porch (Figure 13). The fenestration is comprised of a number of multi-light sash or casement windows (Figure 14). The recessed main block of the house is comprised of two elements, a projecting second floor wing at the north end of the elevation, whose fenestration is comprised of modern sash windows and the recessed main block of the house (please note that the dense vegetation made it difficult to properly photograph this side of the house) (Figure 15). The fenestration of the recessed element is comprised of one set of paired double hung sash windows topped by a cornice.

Modifications and Alterations to the West Elevation

- As late as 1965 the rear porch that shelters the house's back door was still open (see Figure 8a). Subsequently, the back porch was enclosed sometime after the house was moved to Coronel Street, in 1966. The addition at the north end of the second floor also was added sometime after 1966. However, since no building permit could be located for these modifications, precise construction dates cannot be determined.



Figure 13
West Elevation, north end of the elevation



Figure 14
West Elevation, south end of the elevation



Figure 15
West Elevation, detail of second floor, looking southeast

4.2 The Italianate Style

The Italianate style enjoyed widespread popularity in the United States between 1840 and mid-to late 1880s. Originating in the Great Britain as a reaction to the prevailing neoclassical style the Italianate eschewed the symmetrical and balanced forms that had been popular since the Renaissance and drew its inspiration from rural Italian villas of the 16th and 17th centuries. By the early 1840s the style had gained a moderate degree of popularity in Great Britain. However, it was not until Queen Victoria and Prince Albert commissioned architect Thomas Cubitt to design an Italianate palace that the style came to the notice of the wider public (Dixon 1975: 34-35). Osborne House with its picturesque massing, tower and Renaissance inspired architectural detailing, represented one of the first large-scale commissions in the new style. The palace was widely published in contemporary magazines and newspapers and was instrumental in popularizing the new style in both Great Britain and the United States.

In the United States Andrew Jackson Downing, through his pattern books and other publications, helped popularize the new style. By the mid-1850s it had gained such widespread popularity that the new style replaced the Greek Revival as the country's most fashionable architectural style. Its picturesque massing, which freed architectural design from the strict symmetry of the classical revival style, allowed for buildings that were more responsive to the functional needs of the time, especially for residential commissions. The Italianate style was employed for a variety of building types, including both urban and suburban houses as well as institutional buildings such as courthouses, hospitals and schools. Character-defining features of the style include asymmetrical massing, towers or cupolas, low-pitched hipped or pyramidal roofs, overhanging eaves embellished with bracketed cornices, paired sash windows with elaborate window surrounds, bay windows and one-story porches supported by elaborate posts. Architectural detailing, which included window and doors surrounds, cornices and elaborate eave treatments featured a free interpretation of Renaissance style motifs.

As designed by Peter Barber, the house embodies almost all of the features that characterize California's regional interpretation of the Italianate style, including the following character defining elements: 1) wood frame construction sheathed in horizontal wood siding; 2) an emphasis on verticality; 3) low-pitched pyramidal hipped roof capped by a cupola; 4) narrow, double hung sash windows with a vertical emphasis capped by elaborate window crowns; 5) overhanging eaves supported by decorative brackets; 6) single-story porches with elaborately carved posts; and 7) bay windows; and 8) a tower element.

4.3 Hardscape and Landscape

Located near the intersection of the 400 block of Loma Alta Street and the 800 block of Coronel Street, the property is within the Ladera Tract (see Figures 1 - 3). The parcel is bound by Coronel Street to the west and by adjacent parcels on the north, south and east. A five-foot tall cmu wall built in 1985 runs parallel to Coronel Street and partially screens the property from the street (Figure 16). At the northwest corner of the property an elevated platform supported by sandstone masonry walls is the location of the parcel's off-street parking (Figure 17). Several remnants of the Falvey Estate's hardscape features including a sandstone retaining wall, a wall fountain composed of rusticated stone blocks centered on a lion-headed spout that spills water into a semi-circular basin and a shallow pool that is aligned

with a rectangular water feature embellished polychromatic tiles survive on the property (Figures 18, 20 - 23). Older plantings include several large Eucalyptus trees, one a more than 40-inch diameter specimen located at the northwest corner of the property, another at the located near the site of the former carport off the northwest corner of the house and another located near the southeast corner of the parcel (see Appendix B).

These features are fragments of an early 20th century designed landscape that existed on the property before the Hunt-Stambach House was moved onto the parcel in 1966. The remaining hardscape features include a rectangular swimming pool installed in 1972, a deck attached to the southwest corner of the house and pathways and plantings installed after 1966. The landscape scheme is informal in nature with an expansive lawn extending off the house's entrance façade to a belt of trees and shrubs that extend along the east property line (see Figure 18). The lawn is edged with sandstone blocks that appear to have been salvaged from dismantled elements of the Falvey estate's hardscape features. A swimming pool surrounded by a rectangular concrete terrace is set off the house's south elevation (Figure 19). Dense plantings of trees, shrubs and specimen plants set in informal planter beds lined with sandstone cobbles, extend along the north side of the parcel from the house to the street frontage; this area is the location of the sandstone retaining wall, wall fountain and feature dating to the Falvey family's occupancy (see Figures 18, 20 -23). The property's landscaping is comprised of informally planted trees, shrubs and flowers.

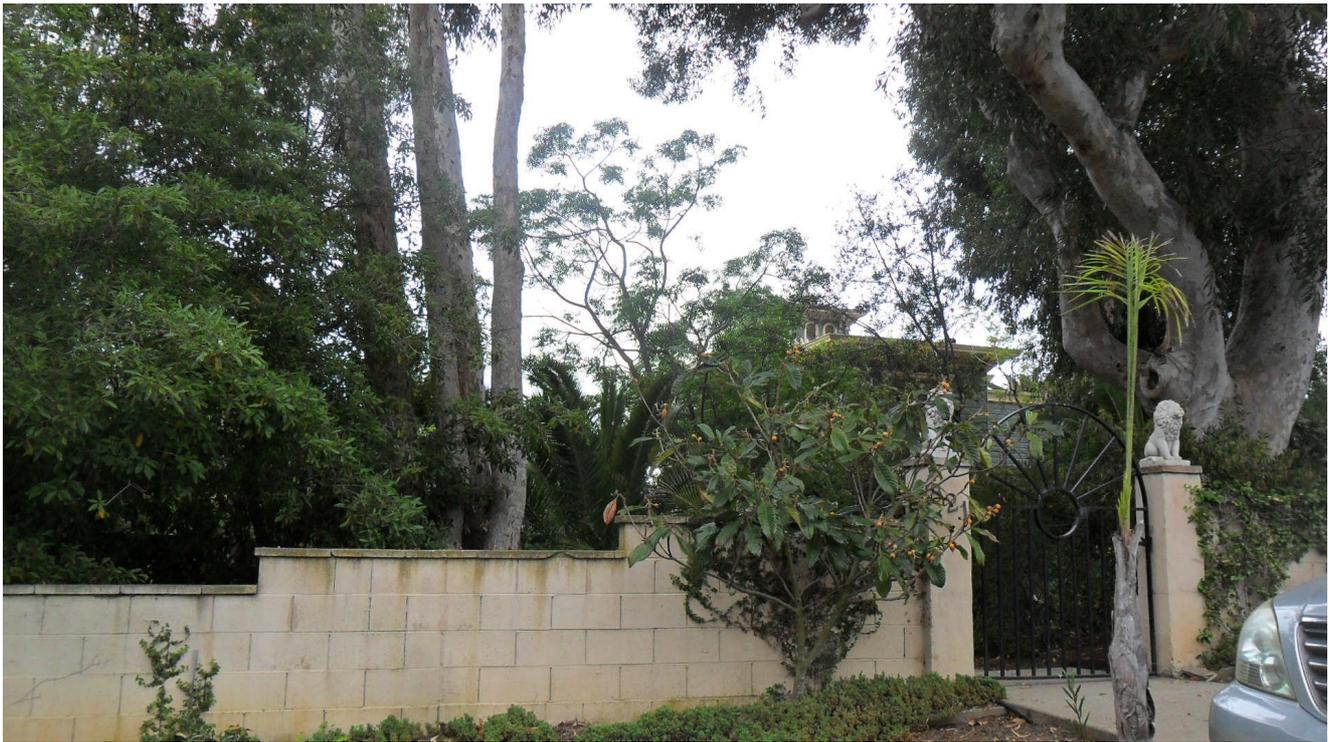


Figure 16
Boundary Wall, looking south



Figure 17
Off Street Parking area at northwest corner of the parcel, looking southeast

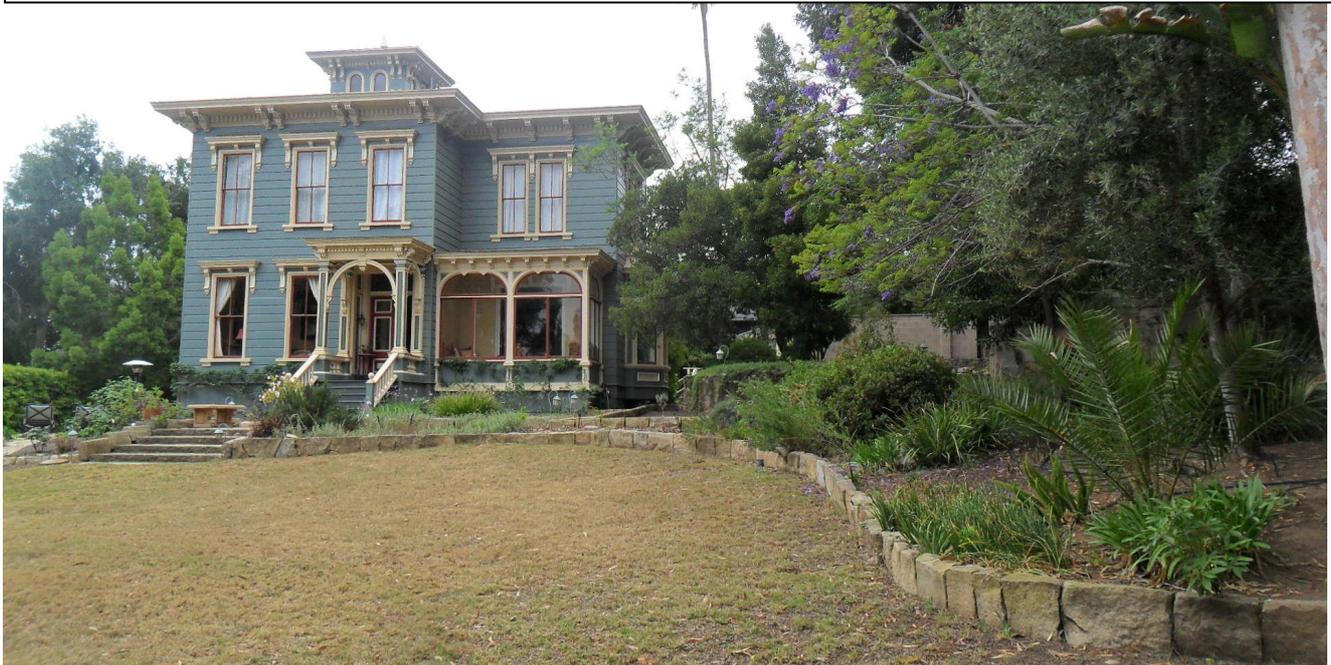


Figure 18
Landscape off the East Elevation looking southeast



Figure 19
Pool Terrace off the South Elevation looking east



Figure 20
Falvey Period Sandstone Feature and Rectangular Pool

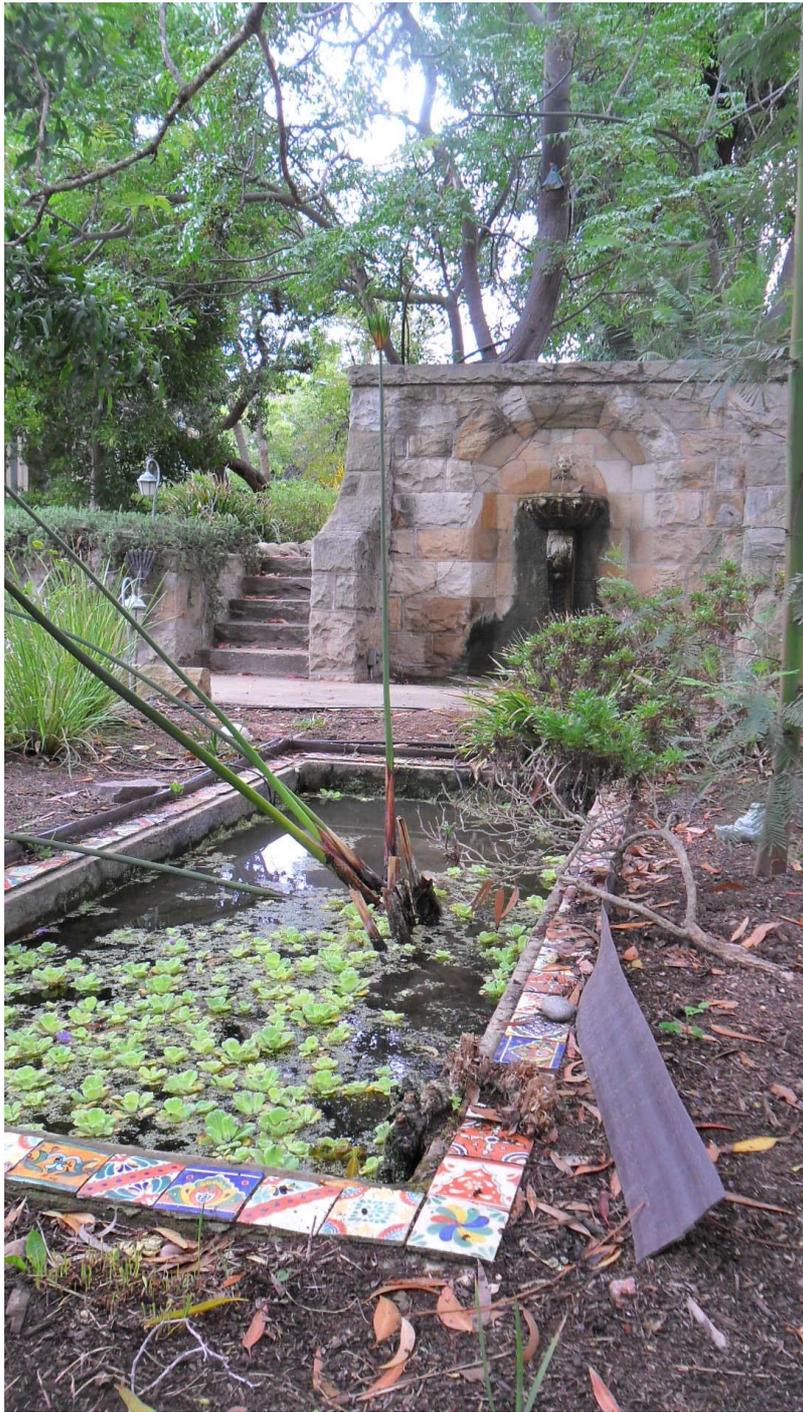


Figure 21
Falvey Period Landscape Features off the North Side of the House, detail of pool



Figure 22
Falvey Period Landscape Features off the North Side of the House, location of proposed addition, looking south



Figure 23
Rear of Wall Fountain off the North Side of the House, location of proposed addition, looking east

5.0 IDENTIFICATION OF SIGNIFICANT HISTORIC RESOURCES

Hunt-Stambach House

The house, which is a designated City of Santa Barbara Landmark and has been previously determined eligible for listing in the California Register of Historical Resources and the National Register of Historic Places, is a significant historic resource for the purposes of environmental review.

5.1 Application of the Criteria to the Falvey Period Landscape Features

Falvey Period Landscape Features

The remaining hardscape features dating to the Falvey period are confined to the sandstone retaining walls, steps, wall fountain and reflecting pool described in Section 4.3 of this report.

Designed Landscape

The integrity of the former Falvey Estate's designed landscape has been substantially affected by the following: 1) the subdivision of the estate into residential lots now developed with single-family houses and 2) the demolition of the estate house and the removal of almost all of the original landscaping and hardscape features. Because of these changes the former estate's designed landscape does not retain its integrity of design, setting, materials, workmanship, feeling or association. Remaining elements include the plantings include the two large Eucalyptus trees described in the arborist's report (Appendix B). Because of the removal so many of the original plantings the horticultural component of the designed landscape does not retain its integrity of design or materials. The large Eucalyptus trees as a group may be considered to contribute to the character of the adjacent streetscape.

Remaining Hardscape Features

As examples of early 20th century stone masonry the sandstone retaining walls, wall fountain, steps and reflecting pool, embody a high level of craftsmanship and design, and retain their integrity of location, design, materials and craftsmanship. Because these landscape features retain these qualities they meet the following significance criteria:

(e) Its exemplification of the best remaining architectural type in a neighborhood;

Other late 19th or early 20th century estates in the Mesa area that included large-scale stonework included the Dibblee property at what is now Santa Barbara City College. Improvements to the Dibblee estate including its house have been removed leaving only the sandstone retaining walls, wall fountain, steps and reflecting pool at 821 Coronel Street as examples of this landscape architecture in the Mesa area. Therefore, the sandstone retaining walls, wall fountain, steps and reflecting pool at 821 Coronel Street are eligible for listing as a Structure of Merit under Criterion e.

(g) Its embodiment of elements demonstrating outstanding attention to architectural design, detail, materials or craftsmanship;

The hardscape features and reflecting pool are, with the exception of the water feature, built of hand-dressed, sandstone that exhibit an outstanding level of craftsmanship and design and represent one of the few surviving examples of their type incorporating a wall fountain in the City (while these type of landscape features were common in the Montecito area, fewer were constructed in Santa Barbara). Therefore, the retaining walls, steps, wall fountain and garden pool are eligible for listing as a City of Santa Barbara Structure of Merit under Criterion g.

The sandstone retaining walls, wall fountain, steps and reflecting pool do not meet the following significance criteria:

(a) Its character, interest or value as a significant part of the heritage of the City, the State or Nation;

While the landscape elements listed above are good examples of early 20th century stonework, they do not, as isolated fragments of what was once a larger designed landscape scheme, embody the level of significance they would make them eligible for listing under Criterion a.

(b) Its location as a site of a significant historic event;

Extensive examination of records, including records on file at the Santa Barbara Community Planning Department, the Santa Barbara Historical Society, Gledhill Library and the Santa Barbara Public Library, did not reveal any information linking the fragments of the designed landscape at 821 Coronel Street to a significant historic event. Therefore, these features, which are not associated with a significant historical event, do not meet Criterion b.

(c) Its identification with a person or persons who significantly contributed to the culture and development of the City, the State or the Nation;

A review of documents on file at the Santa Barbara Historical Museum did not reveal any information suggesting the Falvey family were historically significant. Therefore, the remaining elements of the designed landscape at 821 Coronel Street do not meet Criterion c.

(d) Its exemplification of a particular architectural style or way of life important to the City, the State or the Nation;

While the retaining wall, wall fountain and reflecting pool are important example of masonry craftsmanship they cannot, as isolated fragments of larger designed landscape, be considered to be exemplars of a particular type of landscape architecture. Therefore, the remaining elements of the designed landscape at 821 Coronel Street do not meet Criterion d.

(f) Its identification as the creation, design or work of a person or persons whose effort has significantly influenced the heritage of the City, the State or the Nation;

There is no documentation linking the design of the Falvey estate's designed landscape to a noted architect or designer. Therefore, the remaining elements of the designed landscape at 821 Coronel Street do not meet Criterion f.

(h) Its relationship to any other landmark if its preservation is essential to the integrity of that landmark;

With the exception of the Hunt-Stambach House, which was moved onto the property in 1966 and does not have a link to the Falvey estate, no listed landmarked properties are located in or adjacent to the 800 block of Coronel Street. Therefore, the remaining elements of the designed landscape at 821 Coronel Street do not meet Criterion h.

(i) Its unique location or singular physical characteristic representing an established and familiar visual feature of a neighborhood;

Located behind a five-foot tall boundary wall on Coronel Street the remaining elements of the Falvey Estate's designed landscape do not form an established and familiar feature of the streetscape and do not meet Criterion i. As a group the four large Eucalyptus trees do make a contribution to the streetscape and are eligible for listing as Structure of Merit under Criterion i.

(j) Its potential of yielding significant information of archaeological interest;

This criterion applies to archaeological deposits and is beyond the purview of this report.

(k) Its integrity as a natural environment that strongly contributes to the well-being of the people of the City, the State or the Nation (Chapter 22.22.040, City of Santa Barbara Municipal Code; Ord. 3900; 1, 1977).

The natural environment of 800 block of Coronel Street and its surrounding neighborhood has been profoundly modified by human activity over the last 230 years and no longer represents a natural landscape. Therefore, the remaining elements of the designed landscape at 821 Coronel Street do not meet Criterion k.

Additional Criteria

The property at 821 Coronel Street will also be assessed using the additional criteria listed in Chapter 2.3 (Section 5) of the MEA (Guidelines for Archaeological and Historic Structures and Sites, February 2002).

5. Any structure, site or object associated with a traditional way of life important to an ethnic, national, racial, or to the community at large; or illustrates the broad patterns of cultural, social, political, economic, or industrial history.

Extensive examination of records on file at the City of Santa Barbara, Santa Barbara Historical Society and Santa Barbara Public Library did not reveal any information linking the designed landscape at 821 Coronel Street to a traditional lifeway. Therefore, the property at 821 Coronel Street does not meet Additional Criterion 5.

6. Any structure, site, or object that conveys an important sense of time and place, or contributes to the overall visual character of a neighborhood or district.

The integrity of the designed landscape at 821 Coronel Street has been substantially diminished by the subdivision of the Falvey estate, the construction of a residential subdivision and the removal of much of the original landscaping and hardscape, which has significantly diminished the ability of the designed landscape to convey a strong sense of time and place. Therefore, the remaining elements of the designed landscape at 821 Coronel Street do not meet Additional Criterion 6.

7. Any structure, site or object able to yield information important to the community or is relevant to historical, historic archaeological, ethnographic, folkloric, or geographical research.

Extensive examination of records on file at the City of Santa Barbara, Santa Barbara Historical Society and the Santa Barbara Public Library **did not reveal** any information to indicate that the property at 821 Coronel Street has the potential for yielding additional information relevant to historical, historic archaeological, ethnographic, folkloric or geographical research.

8: Any structure, site or object determined by the City to be historically significant or significant in the architectural engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California, provided the City's determination is based on substantial evidence in light of the whole record [Ref. State CEQA Guidelines § 15054.5 (a)(3)].

The remaining elements of the designed landscape are not listed City of Santa Barbara Landmarks or Structures of Merit nor are they listed on the City's Potential Historic Resources List. Therefore, the remaining elements of the designed landscape at 821 Coronel Street do not meet Criterion 8.

Summary Statement of Eligibility for Listing as a City of Santa Barbara Landmark or Structure of Merit

The sandstone retaining wall, steps, wall fountain and rectangular pool that represent components of the designed landscape meet Significance Criteria E and G, which would make them eligible for listing as a City of Santa Barbara Structure of Merit. As contributors to the streetscape, the grouping of Eucalyptus trees meets Criterion I.

5.2 Eligibility for listing in the California Register of Historical Resources

For purposes of this section, the term "historical resources" shall include the following:

1.) A resource listed in, or determined to be eligible by the State Historical Resources Commission, for listing in the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4850 et seq.).

2.) A resource included in a local register of historical resources, as defined in section 5020.1(k) of the Public Resources Code or identified as significant in an historical resource survey meeting the requirements section 5024.1(g) of the Public Resources Code, shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.

3.) Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architecturally, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be an historical resource, provided the lead agency's determination is supported by substantial evidence in light of the whole record. Generally, a resource shall be considered by the lead agency to be "historically significant" if the resource meets the criteria for listing on the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4852) including the following:

3a Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;

3b Is associated with the lives of persons important in our past;

3c Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or;

3d Has yielded, or may be likely to yield, information important in prehistory or history.

Criterion 1: The hardscape features on the property at 821 Coronel Street are not listed in the California Register of Historical Resources, nor has it been deemed eligible for listing by the State Historical Resources Commission. Therefore, the property does not meet Criterion 1.

Criterion 2: The hardscape features on the property at 821 Coronel Street are not listed resources at the local level. Therefore, the property does not meet Criterion 1.

Criterion 3a: Extensive examination of records on file at the Santa Barbara Community Planning Department, the Santa Barbara Historical Society, Gledhill Library, and the Santa Barbara Public Library, did not reveal any information that linked the property the sandstone hardscape features on the project parcel with a significant historic event. Therefore, the remnants of the designed landscape, which is not associated with a significant historical event, do not meet Criterion 3a.

Criterion 3b: Is associated with the lives of persons important in our past;

The Falvey family does not appear to have played leading roles in the historical, cultural or commercial life of Santa Barbara or the state; therefore, the property does not meet Criterion 3b.

Criterion 3d: Has yielded, or may be likely to yield, information important in prehistory or history.

The application of this criterion to archaeological deposits is beyond the purview of this report.

Criterion 3c: Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values;

While some of the remaining elements of the Falvey Estate's hardscape features embody sufficient significance to be eligible at the local level, they do not, as isolate fragments of a larger landscape scheme which no longer retains it integrity of design or materials, qualify for designation under Criterion 3c.

5.3 Eligibility for Listing in the National Register of Historic Places

Also to be considered are the criteria for the National Register of Historic Places. (MEA Technical Appendix 1 VGB-10):

The quality of significance in American history, architecture, archaeology, and culture is present in districts, sites, buildings, structures, and objects of State and local importance that possess integrity of location, design, setting, materials, workmanship, feeling and association, and:

(a) That are associated with events that have made a significant contribution to the broad patterns of our history; or

(b) That are associated with the lives of persons significant in our past; or

(c) That embody the distinctive characteristics of a type, period or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or

(d) That has yielded, or may be likely to yield, information important in prehistory or history.

As noted above, the sandstone retaining wall, and steps wall fountain and rectangular reflecting pool do not embody the level of significance necessary for listing, primarily because they are remnants of a larger landscape scheme which no longer retains its integrity of design or materials, which are only eligible for listing at the local level because they represent good examples of early 20th century stonework that were part of a designed landscape. Therefore, the remaining elements of the designed landscape are not eligible for listing in the National Register of Historic Places.

5.4 Summary Statement of Significance

The Hunt-Stambach House is a designated City of Santa Barbara Landmark. The stone retaining wall, wall fountain and steps and the reflecting pool as well as the Eucalyptus trees as a group, are eligible for listing as a City of Santa Barbara Structure of Merit. The designed landscape as a whole is not eligible for listing at the local level. The Hunt-Stambach House has previously been determined eligible for listing in the California Register of Historical Resources and the National Register of Historic Places. An application of the Secretary of the Interior's Standards to the project determined that implementation of the project would have a less than significant impact to significance historic resources (Class III).

6.0 EVALUATING IMPACTS TO SIGNIFICANT HISTORIC RESOURCES

6.1 Project Thresholds

This component of the study will assess the potential impacts that may result from the implementation of the proposed project. The City MEA uses State CEQA Guidelines #15064.5 for determining the significance of impacts to historic resources:

An adverse effect is defined as an action that will diminish the integrity of those aspects of the property that make it eligible for listing in a local, State or National register of historic resources. CEQA defines adverse effect in the following manner: A project with an effect that may cause a substantial adverse change in the significance of an historical resource is a project that may have a significant effect on the environment (Public Resource Code 15064.5

(b)). Substantial adverse change in the significance of an historical resource means physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired (Public Resource Code 15064.5 (b1)).

CEQA defines material impairment of a historic resource as follows:

(A) Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources;

(B) Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to section 5020.1(k) of the Public Resources Code or its identification in an historical resources survey meeting the requirements of section 5024.1(g) of the Public Resources Code, unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant;

(C) Demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA (Public Resources Code 15064.5 (b2)).

- (3) Generally, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (1995) shall be considered as mitigated to a level of less than significant.*
- (4) A lead agency shall identify potentially feasible measures to mitigate significant adverse changes in the significance of an historical resource. The lead agency shall ensure that any adopted measures to mitigate or avoid significant adverse changes are fully enforceable through permit conditions, agreements, or other measures.*

The following direction for applying mitigation measures is found in Section 2.5 of the MEA *Guidelines for Archaeological Resources and Historic Structures and Sites* (2002: 65 - 70).

These include the following:

- 1) In-situ preservation is the preferred manner of avoiding damage to significant historic resources.*
- 2) Planning construction so that demolition or alteration of structures, sites and natural objects are not required; and*
- 3) Incorporating existing structures, sites and natural objects into planned development whenever avoidance is not possible.*

As noted in the guidelines the appropriateness of potential mitigation measures is dependent on the type of historic resource and its degree of importance. A resource's significance is tied to its level of eligibility for listing at the local, state and national level (MEA 2002: 66-67). The following range of potential mitigation measures are listed in the MEA:

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- 1) Rehabilitation without relocation on site for use as habitable space, including compliance with all State Historic Building Code requirements. The Secretary of the Interior's Guidelines would apply to this treatment.
- 2) Preserving the historic structure on site as non-habitable space. The Secretary of the Interior's Guidelines would apply to this treatment.
- 3) Relocation and preservation of the historic structure on site for use as habitable space, including compliance with all State Historic Building Code requirements. The Secretary of the Interior's Guidelines would apply to this treatment.
- 4) Relocation and preservation of the historic structure on site for use as non-habitable space. The Secretary of the Interior's Guidelines would apply to this treatment.
- 5) Compatible incorporation of façade only of historic structure into the design of the new building on site (this treatment would not meet the Secretary of the Interior's Guidelines that would apply to this treatment).
- 6) Advertisements for acquisition and relocation of structures with its subsequent rehabilitation at its new site. The Secretary of the Interior's Guidelines would apply to this treatment.
- 7) Demolition of historic structures with recordation according to the Community Development Department's "Required Documentation Prior to Demolition" standards.
- 8) Commemoration of the demolished structure with a display of text and photograph within the new building.
- 9) Commemoration of the demolished structure with a display of text and photograph on the exterior of the new building.
- 10) Commemoration of the demolished structure with an enclosed display of texts and photographs on the perimeter of the property at the primary entrance.
- 11) Salvage of significant materials for conservation in an historical display.

Secretary of the Interior's Standards for Rehabilitation:

The following standards developed by the National Park Service to evaluate impacts to historic resources will guide the evaluation of the proposed project:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must

be disturbed, mitigation measures will be undertaken.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired (36 CFR Part 68, 1995 Federal Register, Vol. 60, No. 133).

6.2 Work Plan and Project Description

The work plan focuses on identifying the property's character and non-character-defining features to provide a basis for evaluating the project's impacts to the significant historic resources identified in this report. The evaluation applies the Secretary of the Interior's Standards for Rehabilitation to determine the project's impact on significant historic resources.

Identifying the Property's Significant Historic Resources and their Character-Defining and Non-Character-Defining Features

House

Character-Defining:

- Overall footprint, massing and roof types (excluding additions and alterations made after the house was moved to its present location in 1966);
- Wood framing;
- Exterior cladding;
- Fenestration dating to the original period of construction;
- Decorative trimwork including window and door surrounds;
- Porch piers and trimwork;
- Bracketed cornice and friezes;
- Cupola element;
- Front door; and
- Enclosed and open porches on the east elevation (entrance façade).

Non-Character-Defining:

- First floor addition off the house's northwest corner (added after 1966);
- Second floor addition off the west elevation (added after 1966);
- Glazing in the north elevation's enclosed porch (added after 1965);
- Changes to the north elevation's first floor fenestration added after 1966;
- Foundation installed in 1966; and
- Deck off the west end of the south elevation and the south end of the west elevation.

Landscape

Hardscape:

Character-Defining

- Sandstone block retaining wall and steps;
- Sandstone block wall fountain;
- Rectangular reflecting pool;

Non-Character-Defining:

- Sandstone block borders around the lawn (these were installed after the Hunt-Stambach house was moved to the property and appear to have been salvaged from an earlier structure);
- Sandstone cobbles outlining walkways off the north side of the house (while these may, at least in part, date to the Falvey occupancy, they represent only a small fragment of a larger design and consequently do not represent an important example of landscape design);
- Retaining wall supporting off-street parking area (these walls which are built of roughly-shaped sandstone were likely installed in 1966 when the Hunt-Stambach house was moved onto the property);
- Swimming pool and pool terrace; and
- Concrete block wall and gates extending along the Coronel Street frontage.

Plantings:

Character-Defining

- Four large Eucalyptus trees located adjacent to the Coronel Street frontage may be significant skyline trees.

Non-Character-Defining:

- Remaining landscaping which date to 1966 and later.

6.3 Application of the Secretary of Interior's Standards for Rehabilitation to the Project

The following Standards apply to the project as a whole:

Standard 1:

The house will continue to function as a single-family residence which is its historic use. The construction of the proposed additions including the one-story hyphen and the two-story addition would not require the removal of significant historic fabric as the hyphen would be attached to the house at the location of the enclosed porch which postdates the house's period of significance. The addition does not substantially impact the historic spatial relationship of the house to its setting since the Hunt-Stambach House was moved to its current location in 1966 and is now located well away from its original site in downtown Santa

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Barbara. It should also be noted that the addition would be placed off the side elevation of the house and would not impair the entrance façade. Therefore, the proposed project meets Standard 1.

Standard 2: The enclosed porch **off the north end of the west elevation, which is proposed for alteration to allow for the construction of the hyphen**, is not an original feature of the house and postdates the house's period of significance. Therefore, **its alteration, which would remove siding and a non-historic window (see Figure 9) to allow the house to be connected via a one-story hyphen to the proposed two-story addition**, would not substantially impair the Hunt-Stambach House's architectural integrity **since it would not remove character-defining historic fabric**.

The significant hardscape features including the sandstone retaining wall, steps, wall fountain and reflecting pool will not be altered or removed as part of this project (see Figures 20 - 23); therefore, these significant historic resources will not be adversely affected by the proposed project. The project would require the removal of one large eucalyptus tree, likely dating to the early 20th century as well as portions the sandstone lined pathways and a sandstone retaining wall at the northwest corner of property (this retaining wall appears to have been installed or greatly altered in 1966 when the house was moved onto the property) (see Figure 3). Removal of one eucalyptus tree would leave three other large eucalyptus trees in place on the parcel; this would allow the grouping of eucalyptus trees to continue to contribute to the neighboring streetscape. Therefore, because implementation of the project would not impair the architectural integrity of the Hunt-Stambach House or the significant hardscape features and all but one of the property's large Eucalyptus trees would remain in place, the proposed project meets Standard 2.

Standard 3: Standard 3 does not apply because the project does not propose the addition of conjectural features or elements from other historic properties. Therefore, the proposed project meets Standard 3.

Standard 4: The proposed project does not propose alterations to features that have acquired historic significance in their own right such as the sandstone landscape features enumerated in this report. Therefore, the proposed project meets Standard 4.

Standard 5: The project does not propose the removal of historic building fabric or hardscape features. **Moreover, the historic fabric of the Hunt-Stambach House and the historic landscape features will not be altered**. The project does propose the removal of one eucalyptus tree leaving the other three eucalyptus trees on the property in place. Therefore, because significant historic resources would not be substantially impaired, the proposed project meets Standard 5.

Standard 6: The project does not propose repair of significant or potentially significant historic resources. Therefore, the proposed project meets Standard 6.

Standard 7: The proposed project does not propose chemical or physical treatments to significant or potentially significant historic resources; therefore, the proposed project meets Standard 7.

Standard 8: The application of this criterion to archaeological deposits is beyond the purview

of this report.

Standard 9: The project does not propose alterations to character-defining building fabric or design features of the Hunt-Stambach House as the proposed hyphen connecting the main existing house would be built off an enclosed porch whose current configuration postdates 1965. The proposed addition is differentiated from the historic building by the following:

- The addition, which would be composed of one and two story elements, would be linked to the existing house by a narrow, flat-roofed one-story hyphen which creates a clear distinction between the Hunt-Stambach House and the addition (see Appendix A, Sheets 2 & 3);
- The hyphen would be clad in 1-inch by 6-inch channel siding that would reference but not copy the house's historic siding type (see Sheet 5, Appendix A).
- The roof of the two-story portion of the addition, which would feature a side gable roof with dormers and a diminutive cupola has a lower ridge height than the Hunt-Stambach House to allow the historic building to read as the more important structure;
- The one-story wing would feature a flat roof with a cornice designed as a very simplified and schematized version of the original house's trimwork (such as the simplified cornices and bracket details on the porch posts); to allow the addition to reference but not copy the house's Italianate style architecture;
- The use of a side gable roof, dormers, triangular brackets and reductive trimwork and simple rectangular volumes on the proposed addition allows its architecture to allude to the type of simplified architectural forms that often characterized secondary buildings on a 19th or early 20th century properties while maintaining a clear distinction between the historic building and the addition;
- The addition is set a sufficient distance from the house to not impair the immediate setting of the historic building;
- Views of the façade of the house from the street (which are minimal will not be impaired by construction of the addition); and
- The two-story building would employ several architectural features such as gable roofs, simplified window types, surrounds and trimwork as well as a different siding dimension to allow the addition to clearly read as an addition while remaining contextual to the Hunt-Stambach House in its overall form and design.

It should also be noted that the Hunt-Stambach House's spatial relationship to the property and street are not historically significant as the house was only moved onto the property in 1965 and was sited so its primary façade no longer faced the street. The removal of one of three large Eucalyptus trees which the Bill Spiewak, Consulting Arborist determined was a 60-foot tall Red Iron Bark Eucalyptus (*Eucalyptus sideroxylon*) suffering from structural defects (see Appendix B for the arborist's report) would leave three other larger eucalyptus in place on the property (please note that not all of the property's Eucalyptus trees were evaluated in the arborist's report). Therefore because: 1) the addition would not remove significant historic fabric, is differentiated from the historic building in design, scale and massing and construction; 2) a sufficient number of eucalyptus trees would remain on the property to contribute to the character of the streetscape and 3) the project would not impair historic spatial relationships, the proposed project meets Standard 9.

Standard 10: The house and its attached hyphen could be removed in the future with no significant impacts to Hunt-Stambach House's integrity of design or materials, thereby

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meeting Standard 10.

6.4 Evaluation of Cumulative Impacts to Significant Historic Resources from the Proposed Project

The cumulative impact analysis will focus on evaluating the effect of the proposed project at 821 Coronel Street and other past, present and reasonably foreseeable projects on the project parcel and in its vicinity. To assess the effects of the proposed project on nearby significant historic resources, the definition of significant effects from CEQA Appendix G, Section 15064.5, was used in combination with the more specific language found in Section 106 of the National Preservation Act of 1966 (36 CFR §800 as amended). Specifically, Number § 800.5 (a) (1) states that: *an adverse effect is found when an undertaking may alter, directly or indirectly, any of the characteristics of a historic property that qualify the property for inclusion in the National Register in a manner that would diminish the integrity of the property's location, design, setting, materials, workmanship, feeling, or association. Consideration shall be given to all qualifying characteristics of a historic property, including those that may have been identified subsequent to the original evaluation of the property's eligibility for the National Register. Adverse effects may include reasonably foreseeable effects caused by the undertaking that may occur later in time, be farther removed in distance or be cumulative. Cumulative impacts can be defined as the total effects on a resource of that action and all other activities affecting that resource (CEQ 1987).*

The relevant adverse effects listed in § 800.5 (a) (2) are:

(iv) Changing the character of the property's use or of physical features within the property's setting that contribute to its historic significance; and

(v) Introduction of visual, atmospheric, or audible elements that diminish the integrity of the property's significant historic features.

Cumulative Impacts are defined by CEQA as two or more individual impacts which, when considered together, are considerable or which compound or increase other environmental impacts (CEQA Guidelines, Sections 15064 and 15355). The focus of the analysis will be on assessing potential effects associated with the proposed project at 831 Coronel Street and its contribution to cumulative impacts to the character-defining features of significant historic resources identified in this report and enumerated in Sections 10.2 of this report.

A review of City records did not reveal any projects on other parcels in the vicinity of the proposed project. No historic resources are located within the vicinity of the project parcel. Therefore, the incremental contribution of the proposed project to cumulative impacts resulting from this project and other projects in the vicinity is therefore, considered Less than Significant (Class III) because the installation of the new house and attached garage, driveway, walkway would not substantially impact the physical integrity of the historic resources, their ability to convey their important historic associations or appearance during the resources' period of significance.

6.5 Impacts to Adjacent Significant Historic Resources

No significant historic resources or potential historic resources are located within the vicinity of the project parcel. Therefore, there is not potential for impacts to adjacent or nearby historic resources.

7.0 SUMMARY AND CONCLUSIONS

This Phase 1-2 Historic Structures/Sites Report prepared by Post/Hazeltine Associates has determined that the proposed project to add a two-story wing housing a garage and family room on the first floor and **two bedrooms and a bathroom on the second floor meets the Secretary of the Interior's Standards for Rehabilitation.** Therefore potential project impacts to **significant historic resources** would be Less than Significant (Class III). **Because the plans are at the conceptual level the final plans with details for trimwork, porch posts sash and window types and details shall be submitted to the City staff and the HLC for their review and approval.**

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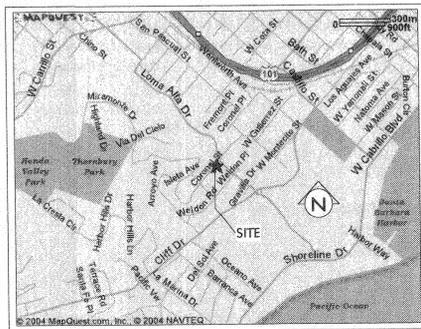
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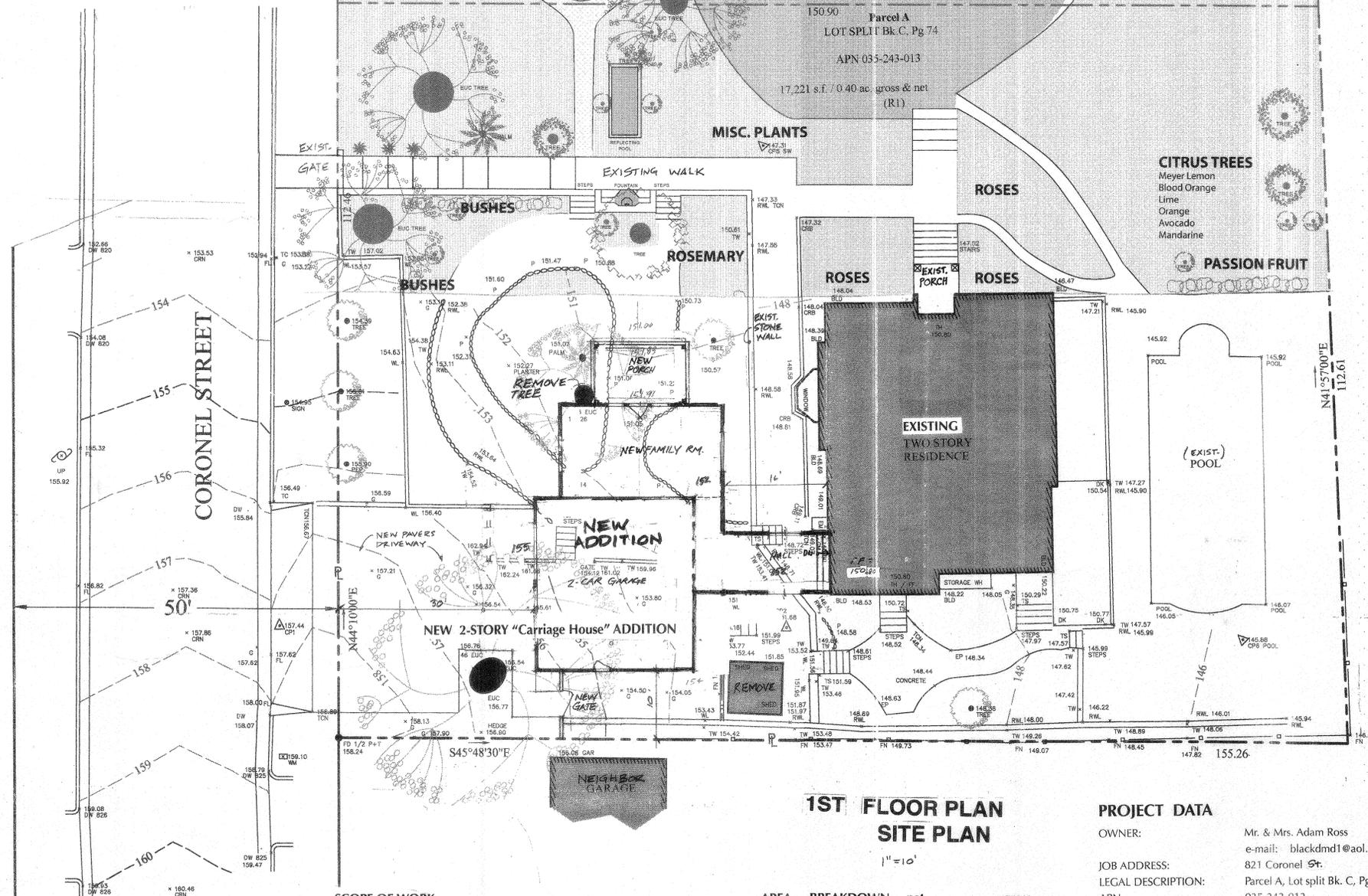
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APPENDIX A



VICINITY MAP
SCALE: NONE



**1ST FLOOR PLAN
SITE PLAN**

1" = 10'

SCOPE OF WORK
Proposed 2-story 875 sq. ft. Carriage House with a 2-car garage
Addition to an existing 2-story 2450 sq. ft. Historic house with no garage.

AREA	BREAKDOWN	net	gross
1st Floor		500	570
2nd Floor		375	475
Total		875 sq.ft.	1045
Attached 2-Car Garage		500	575
Covered Porches		105	
Existing House		2450 sq.ft.	2590

PROJECT DATA

OWNER: Mr. & Mrs. Adam Ross
e-mail: blackdmd1@aol.com
821 Coronel St.
LEGAL DESCRIPTION: Parcel A, Lot split Bk. C, Pg. 74
APN 035-243-013
ZONING: E-1
TYPE OF CONSTR.: V-B
OCCUPANCY: R
LOT SIZE: 17,221 s.f.
PARKING REQUIRED: 2
PARKING PROVIDED: 2
AVER. SLOPE: 6.7%

SHEET INDEX

1	Site Plan, Project Data
2	1st Floor Plan
3	2nd Floor Plan
4	North, East Elevations
5	South, West Elevations
6	Building Section, Roof Plan, Isometric



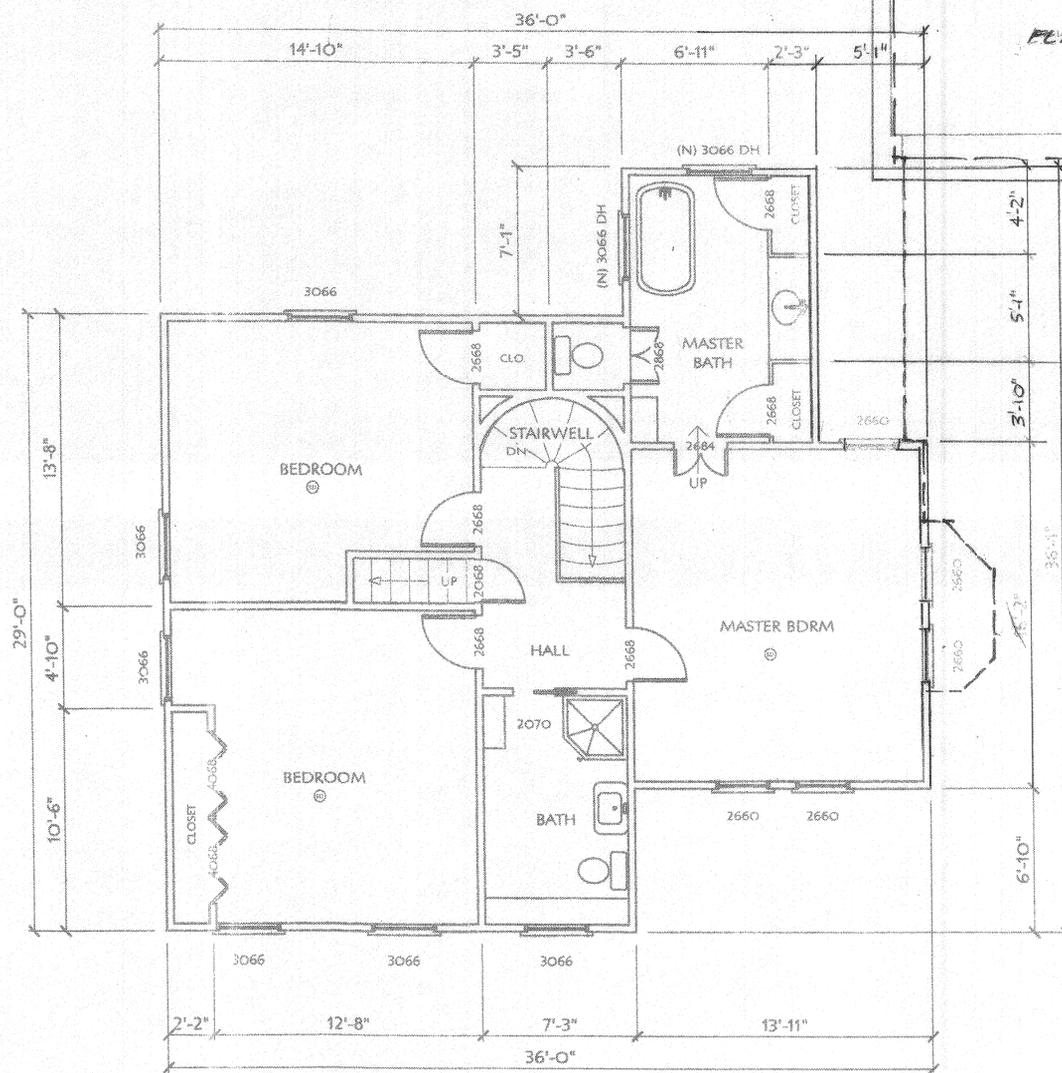
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REGISTERED ARCHITECT
Stephen V. Harrel
CALIFORNIA

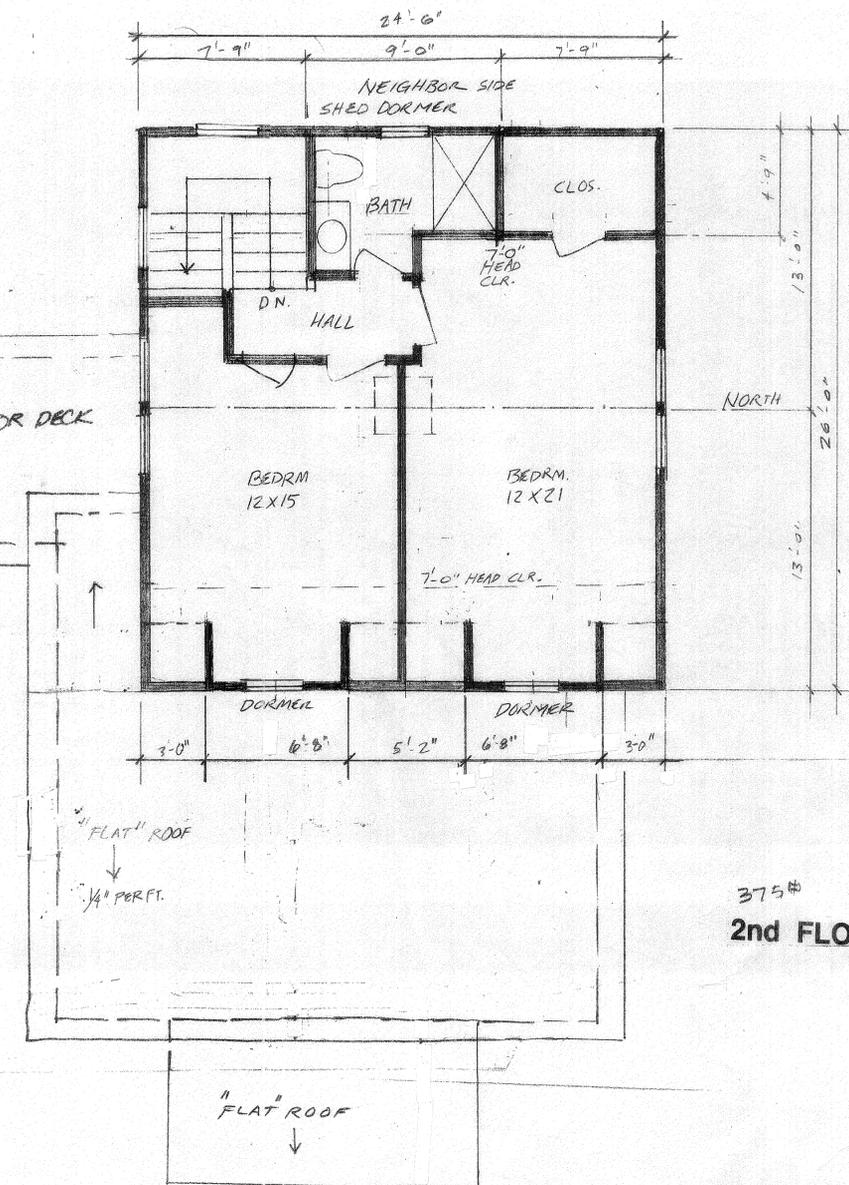
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821 Coronel St. - Carriage House Addition

JOB	
DRAWN	SH
SCALE	
DATE	5-11-16
	9-16-16
	9-19-16
SHEET	1



EXISTING 2nd FLOOR



375#
2nd FLOOR PLAN

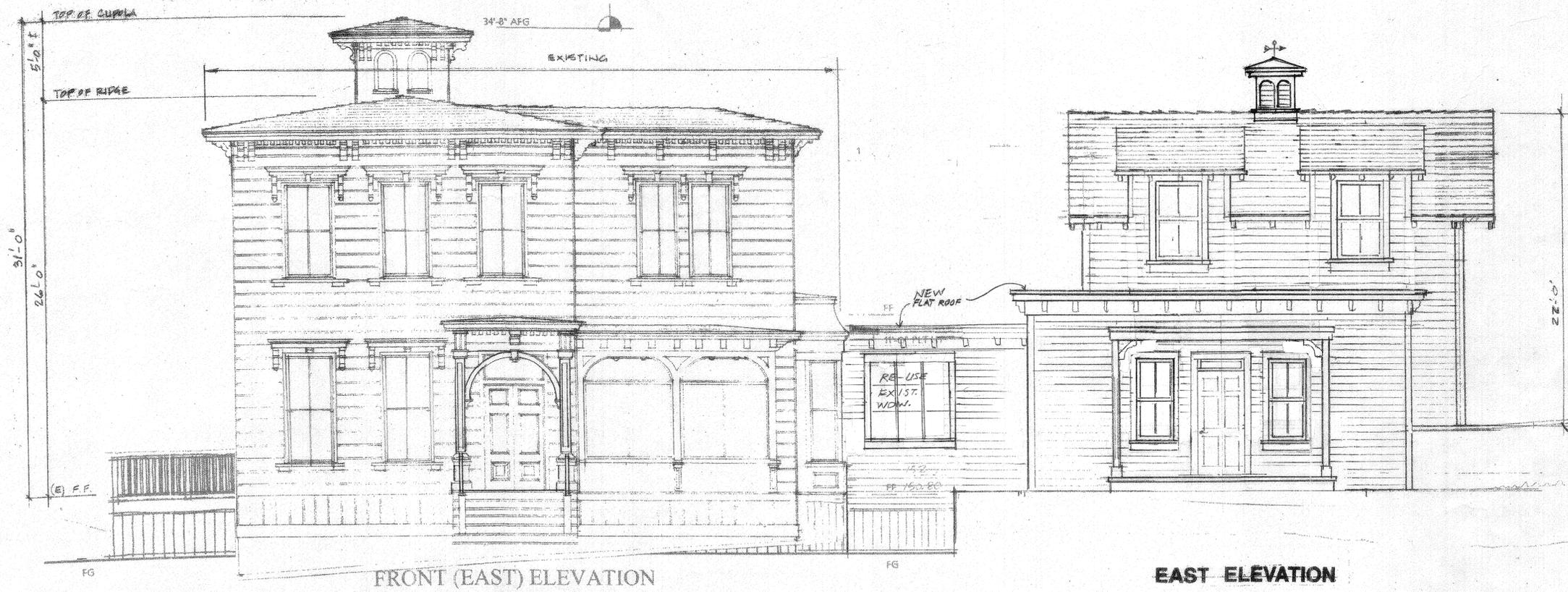
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REVISION



NORTH ELEVATION

- ELEVATION NOTES**
- Roof: Class A - Comp. shingle
Color: Dark Charcoal
 - Walls: 1 x 6 Channel Siding
Color: Match existing House
 - Wood Trim & Garage doors: Match exist. details & colors
 - Wood Windows - Wood - Match exist. details & colors



FRONT (EAST) ELEVATION

EAST ELEVATION

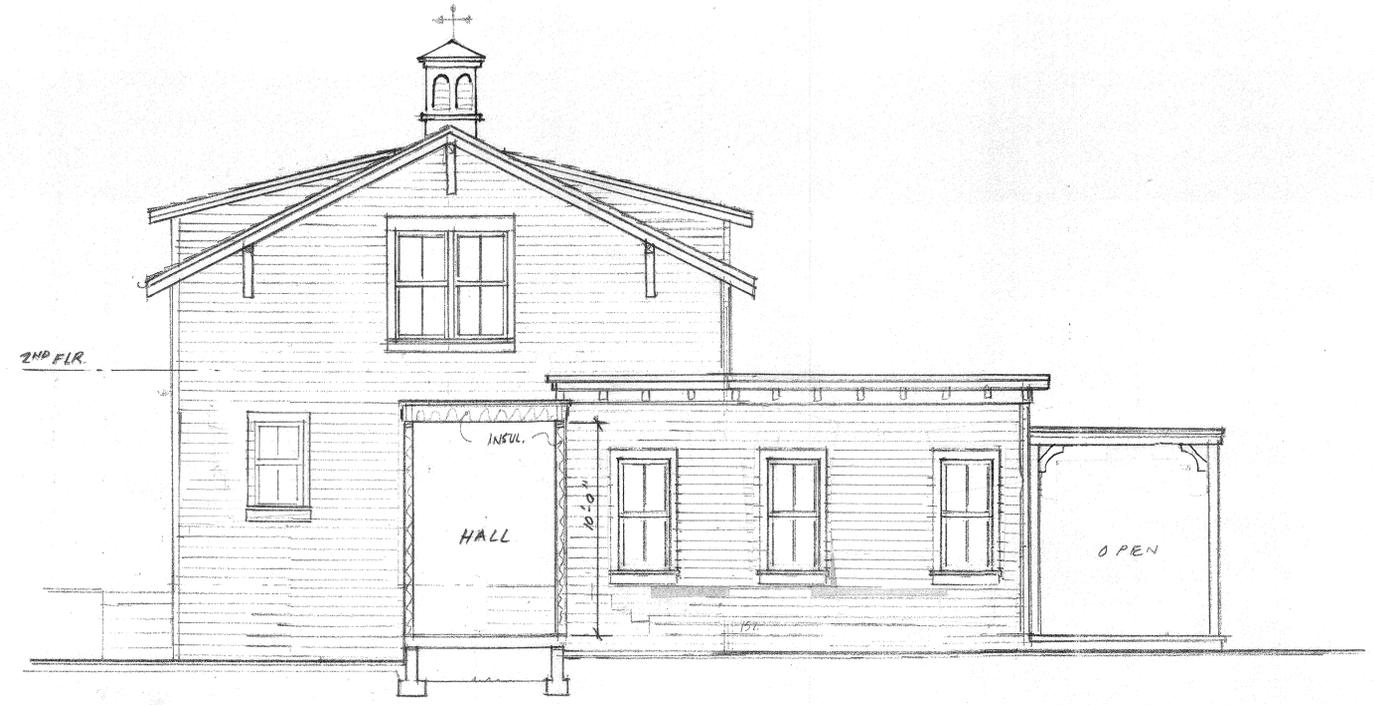
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SOUTH ELEVATION

ELEVATION NOTES
 Roof: Class A - Comp. shingle
 Color: Dark Charcoal
 Walls: 1 x 6 Channel Siding
 Color: Match existing House
 Wood Trim & Garage doors: Match exist. details & colors
 Wood Windows - Wood - Match exist. details & colors



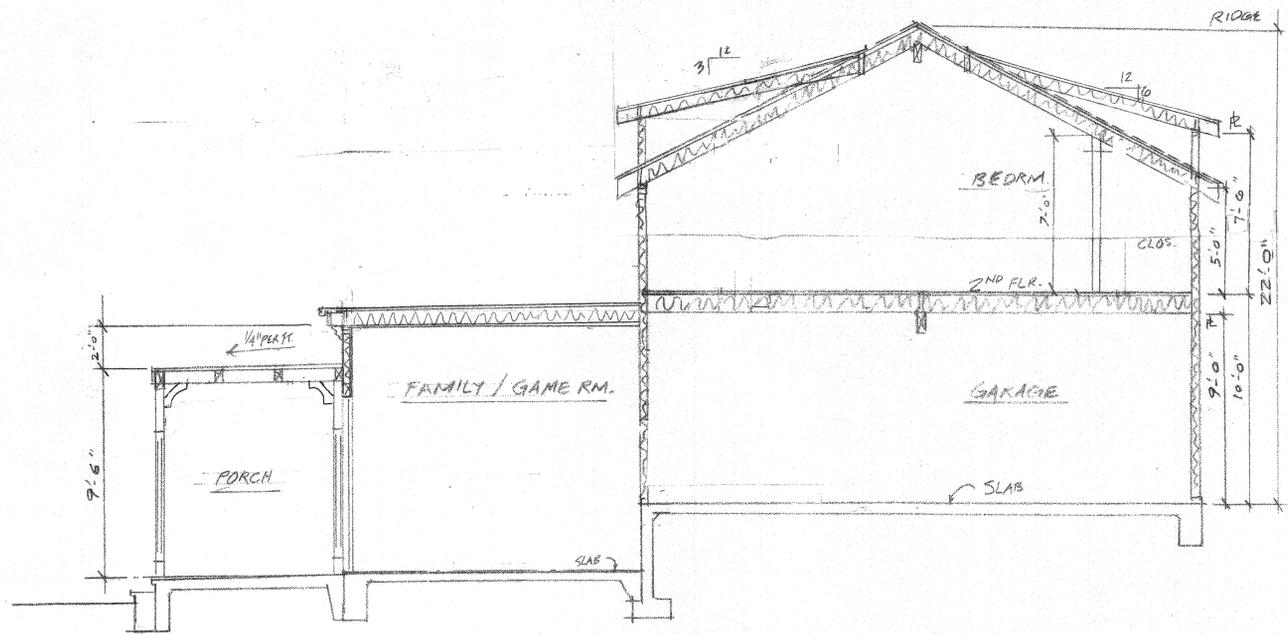
WEST ELEVATION

EXISTING (WEST) ELEVATION

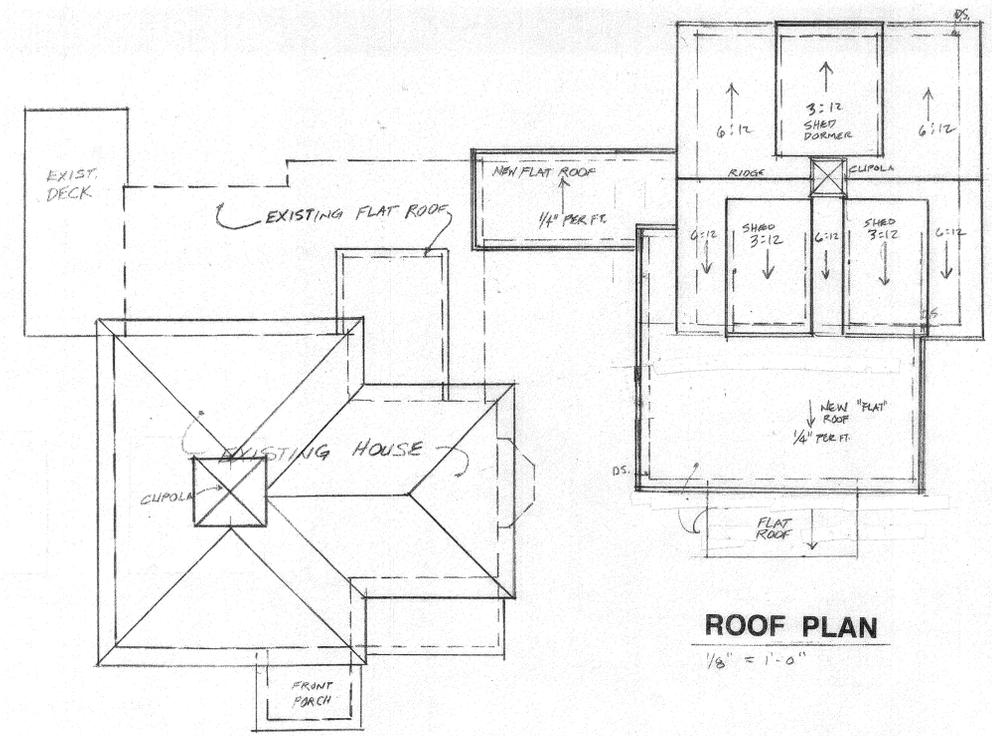
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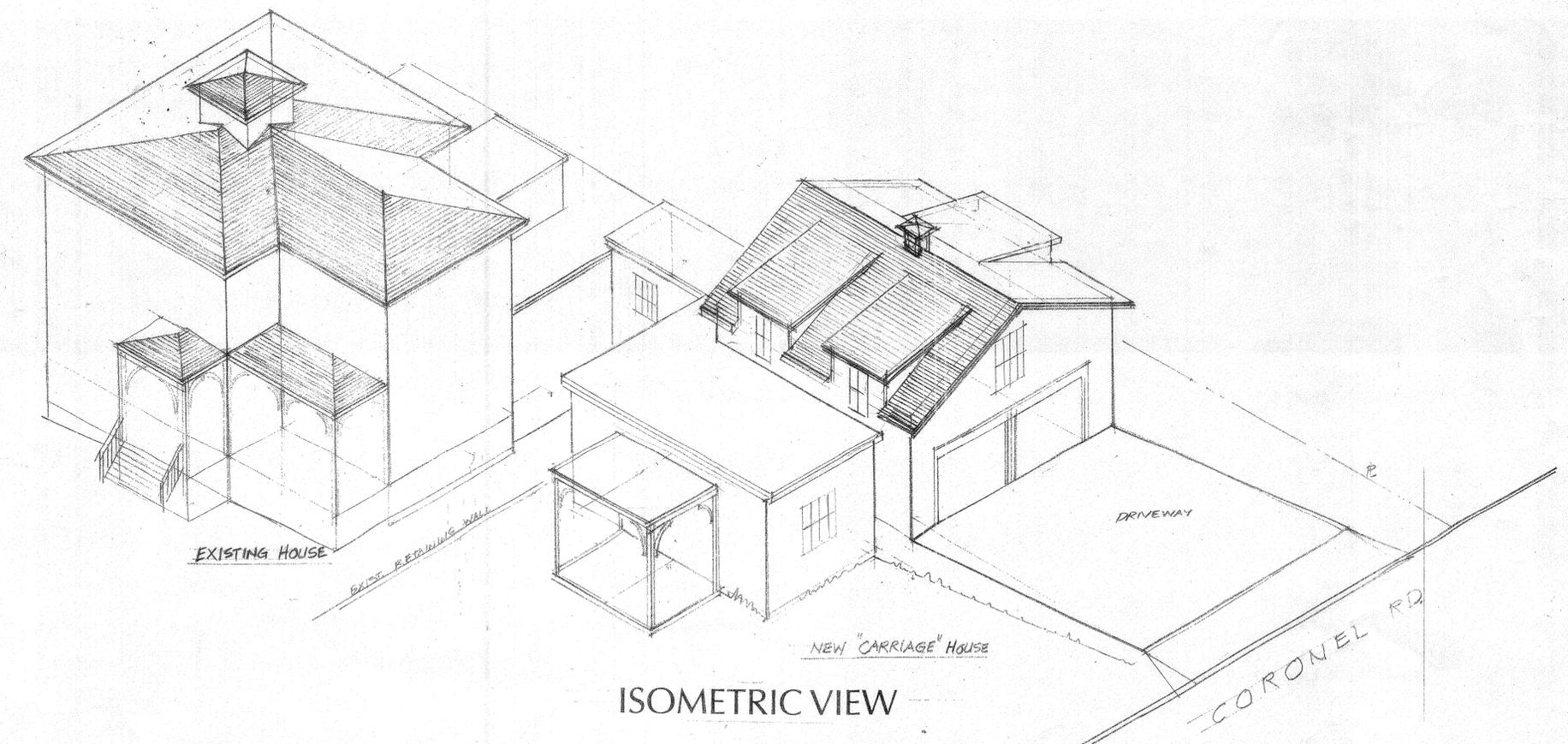
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B BUILDING SECTION
 1/4" = 1'-0"



ROOF PLAN
 1/8" = 1'-0"



ISOMETRIC VIEW

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